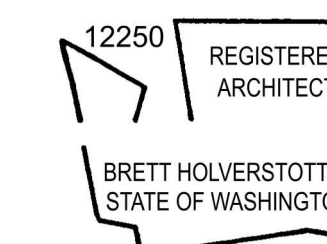


CONSULTANTS



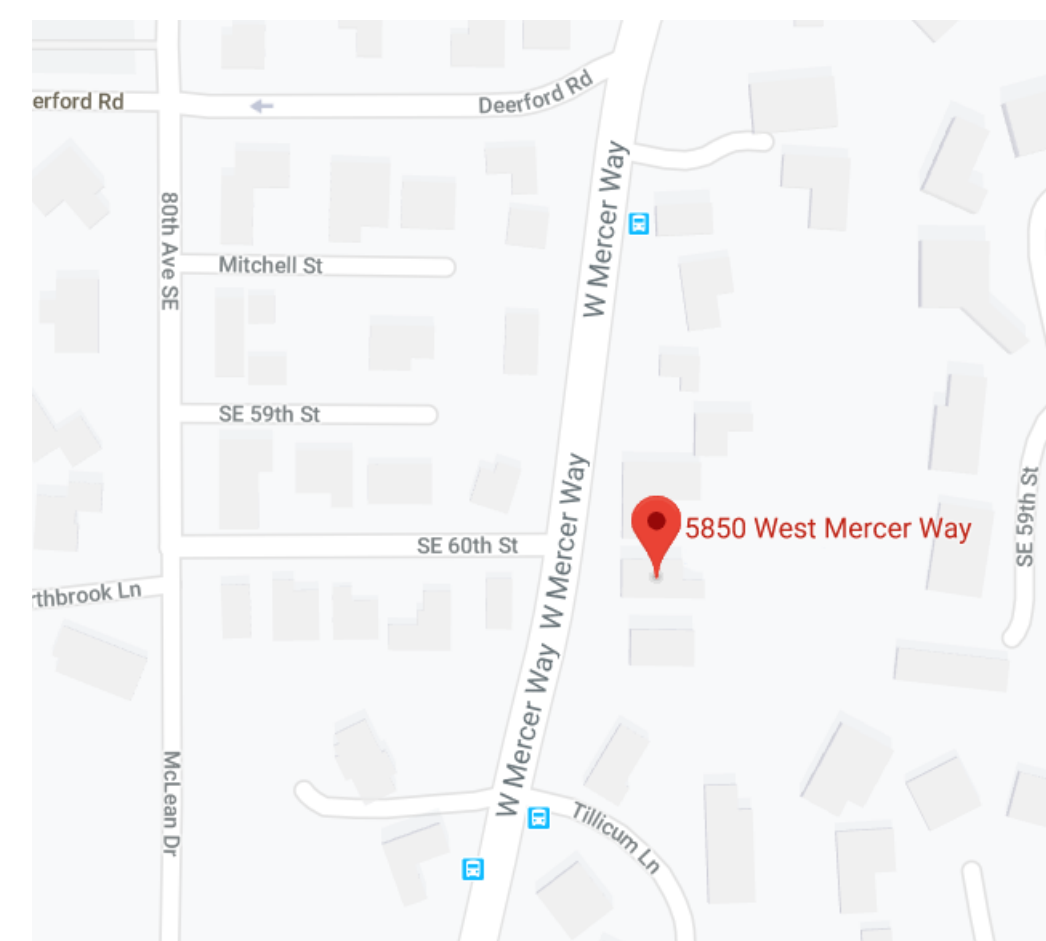
**XU REMODEL**  
5850 W MERCER WAY MERCER ISLAND WA 98040

PROJECT NO: 2019-03  
MODEL FILE:  
Xu Remodel.pln  
DRAWN BY: BH  
COPYRIGHT:

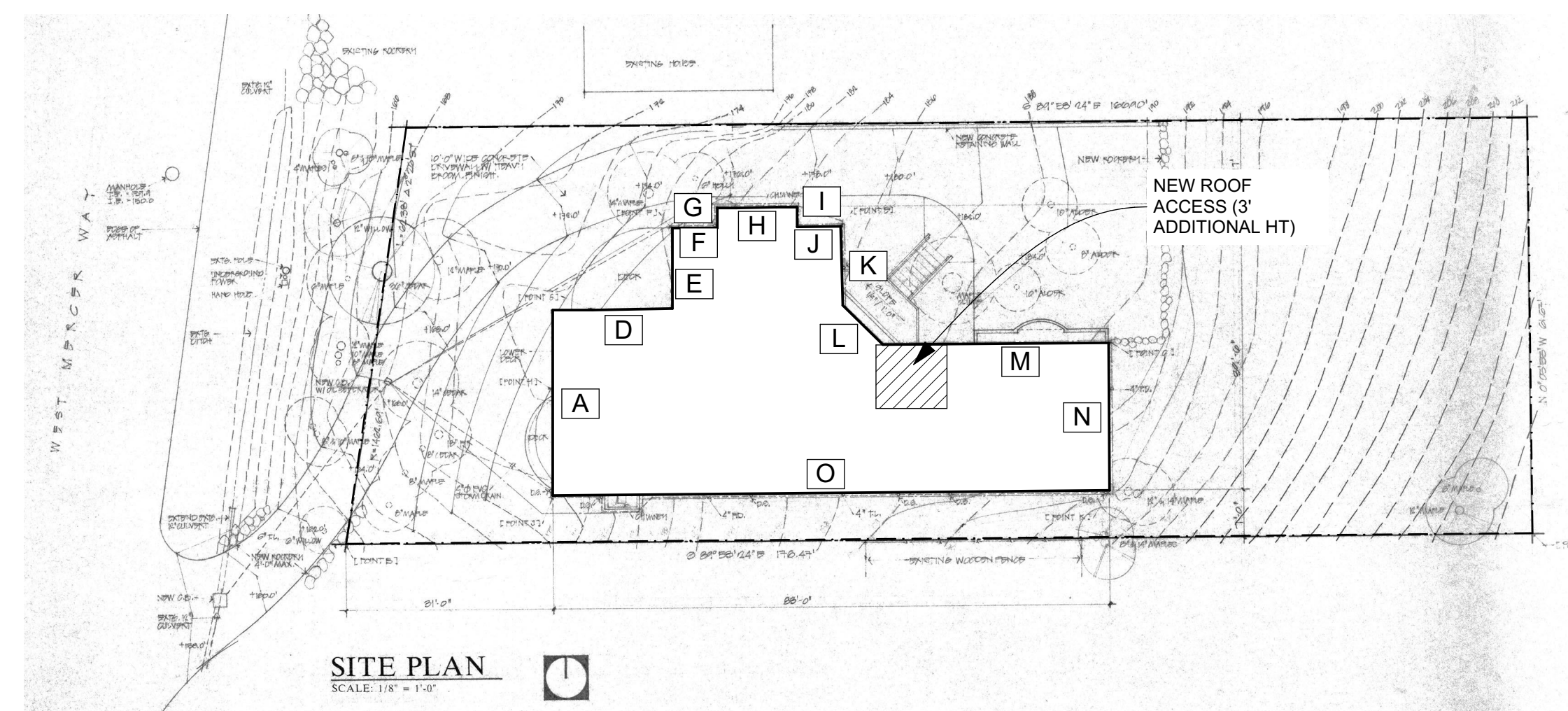
SHEET TITLE

Cover Sheet

**G-001**



**2 VICINITY MAP**  
SCALE: 1" = 1'-0"



**1 SITE DIAGRAM**  
SCALE: 1" = 20"

**MERCER ISLAND ZONING CODE DATA**

ZONE:	R-8.4
ECA	STEEP SLOPE LANDSLIDE HAZARD SEISMIC HAZARD
SETBACKS:	(NO CHANGE TO EXISTING, LEGALLY PERMITTED CONFIGURATION)
HEIGHT LIMIT:	30'-0" A.B.E.

**GFA CALCULATIONS**

PROJECT WAS LEGALLY CONFORMING AT TIME OF CONSTRUCTION BUT EXCEEDS CURRENT STANDARDS FOR GFA ALLOWANCES.

THE SCOPE OF THIS PROJECT CONVERTS 177 SF FROM A DOUBLE-HEIGHT SPACE (200% GFA CONTRIBUTION) TO A NEW LOFT SPACE ABOVE A SINGLE-HEIGHT SPACE (EACH AT 100% GFA CONTRIBUTION) FOR NO CHANGE TO GFA UNDER CURRENT STANDARDS. (STRATEGY AFFIRMED BY PERMIT COUNTER COACH ROBIN PROEBSTING.)

SITE AREA	10,574 SF
ALLOWED GFA:	LESSER OF 40% (4,229.6 SF) OR 5,000 SF
ADU PRESENT?	YES
ADU BONUS:	LESSER OF 45% (4,758 SF) OR 4,500 SF
ALLOWED GFA:	4,500 SF
GFA CALC RULES:	150% WHERE CEILING 12-16 FT 200% WHERE CEILING 16+ FT STAIRCASES COUNT ONCE FOR TWO STORIES

**BUILDING AREA CALCULATIONS**

<b>BASEMENT (E)</b>	
BELOW GRADE (E)	119 SF @ 0% GFA
ABOVE GRADE (E)	1,144 SF
<b>FIRST FLOOR (E)</b>	1,791 SF
AREA OF DBL HT SPACE (E):	352 SF @ 200% GFA
TOTAL GFA (E):	2,143 SF
REDUCTION FOR LOFT:	177 SF @ 100% GFA
TOTAL GFA (NEW):	1,966 SF
<b>SECOND FLOOR (E)</b>	1,920 SF
NEW LOFT	177 SF @ 100% GFA
TOTAL GFA (NEW):	2,097 SF
<b>GARAGE</b>	482 SF
<b>TOTAL GFA (E)</b>	5,689 SF
<b>TOTAL GFA (NEW)</b>	5,689 SF (NO CHANGE)

**HEIGHT CALCULATIONS**

A	27.5	173.5	4771.25	<b>ABE</b>	182.03'
D	21.5	173.5	3730.25	<b>MAX HEIGHT</b>	212.03' (30')
E	12.18	178.45	2173.521	<b>EXISTING HT</b>	208.927 (26.8')
F	6.74	178.35	1202.079	<b>NEW BLDG HT</b>	211.78 (29.75)
G	2.9	178.25	516.925		
H	11.99	179.2	2148.608		
I	2.9	180.5	523.45		
J	6.62	180.5	1194.91		
K	11.97	183.3	2194.101		
L	8.38	183.9	1541.082		
M	33.84	184.5	6243.48		
N	22.21	190.4	4228.784		
O	83.33	185	15416.05		
TOT	252.1		45884.49		

**PROJECT INFORMATION**

**PROJECT DESCRIPTION:**

- \* NEW ROOF DECK & ROOF ACCESS PENTHOUSE;
- \* NEW INTERIOR IMPROVEMENTS, INCLUDING NEW FLOOR AREA CONVERTING EXISTING DBL-HT SPACE TO SINGLE-HT SPACE; AND OTHER MINOR INTERIOR IMPROVEMENTS.

OWNER: YANGFAN XU  
ADDRESS: 5850 W Mercer Way Mercer Island WA 98040  
LEGAL:

CHRISTIAN CHURCH CAMP ADD #2 LOT 12 LESS N 23 FT LESS E 61 FT THOF TGW LOT 13 LESS S 15.22 FT AS MEAS ALG E LN SD LOT 13 LESS E 61 FT THOF AKA PAR D MI LOT LN REV 84-06-21 REC NO 8504159001

PARCEL: 1574700190  
SITE AREA: 10,574 SF

**PROJECT TEAM**

OWNER:  
YANGFAN XU  
5850 W Mercer Way Mercer Island WA 98040  
206-999-9583  
dxulander@gmail.com

ARCHITECT:  
BRETT HOLVERSTOTT  
AIR MOD ARCHITECTURE  
10330 126TH AVE SE RENTON WA 98056  
206-251-8947  
brett@air-mod.com

STRUCTURAL:  
KEITH RYAN  
TSE ENGINEERING  
12810 NW 178TH ST. STE 218  
WOODINVILLE, WA 98072  
425-481-6601  
keith@tse-aep.com

**TREE PROTECTION INFORMATION**

1. NO TREES ON SITE TO BE REMOVED
2. NO VEHICULAR TRAFFIC, EQUIPMENT OR MATERIAL STORAGE TO OCCUR OFF EXISTING PAVED SURFACES.
3. NO PRUNING SHALL BE PERFORMED UNLESS UNDER THE DIRECTION OF AN ARBORIST
4. PROVIDE TREE PROTECTION FENCE ALONG EXISTING PAVED SURFACES SERVING CONSTRUCTION VEHICLE TRAFFIC.
5. NO GROUND DISTURBANCE TO OCCUR WITH THIS PERMIT.

**SHEET INDEX**

**General Drawings**

G-001	Cover Sheet
G-002	Survey

**Structural Drawings**

S-101	Basement Walls & First Floor ...
S-102	First Floor Walls & Second Fl...
S-103	Second Floor Walls & Roof Fr...
S-104	Roof Deck Framing
S-1	Structural Notes & Details
S-1.2	Structural Notes & Details

**Floor Plans**

A-101	Basement Plan
A-102	First Floor Plan
A-103	Second Floor Plan
A-104	Roof Plan

**Reflected Ceiling Plans**

A-113	First Floor RCP & Electrical
A-114	Second Floor RCP & Electrical

**Elevations**

A-201	Exterior Elevations
A-202	Interior Elevations

**Sections**

A-301	Building Section
A-302	Stair Sections

**Details**

A-501	Details
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**LEGAL DESCRIPTION**

(PER STATUTORY WARRANTY DEED REC. NO. 20140116000521)

THAT PORTION OF LOTS 12 AND 13, BLOCK 9, CHRISTIAN CHURCH COMMUNITY CAMP DIVISION NO. 2, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 31 OF PLATS, PAGE 42, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 12, ISLAND GLEN, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 88 OF PLATS, PAGE 72, IN KING COUNTY, WASHINGTON;  
 THENCE NORTH 89°53'23" WEST 92.04 FEET TO THE TRUE POINT OF BEGINNING OF THIS LEGAL DESCRIPTION;  
 THENCE CONTINUING NORTH 89°53'24" WEST PARALLEL TO THE SOUTH LINE OF SAID LOT 13, A DISTANCE OF 176.47 FEET TO THE WEST LINE OF SAID LOTS 12 AND 13, BEING A POINT ON A CURVE, THE CENTER OF WHICH BEARS NORTH 80°02'54" WEST, 1462.69 FEET;  
 THENCE NORTHERLY ALONG SAID WEST LINE ON A CURVE TO THE LEFT, AN ARC DISTANCE OF 62.38 FEET;  
 THENCE SOUTH 89°53'24" EAST ALONG THE SOUTH LINE OF THE NORTH 23.00 FEET OF LOT 12, SAID BLOCK 9, A DISTANCE OF 166.90 FEET;  
 THENCE SOUTH 0°05'55" EAST ALONG THE WEST LINE OF THE EAST 61.00 FEET OF SAID LOTS 61.67 FEET TO THE TRUE POINT OF BEGINNING

(ALSO KNOWN AS LOT D, MERCER ISLAND LOT LINE REVISION NO. MI-84-06-21, RECORDED UNDER RECORDED NO. 8504159001)

**REFERENCES**

- R1. RECORD OF SURVEY, REC. NO. 8504159001.
- R2. RECORD OF SURVEY, REC. NO. 8412209004. RECORDS OF KING COUNTY, WA

**BASIS OF BEARINGS**

THE CENTERLINE OF 84TH SE BEARING = NORTH 00°00'02" WEST PER R1.

**SURVEYOR'S NOTES**

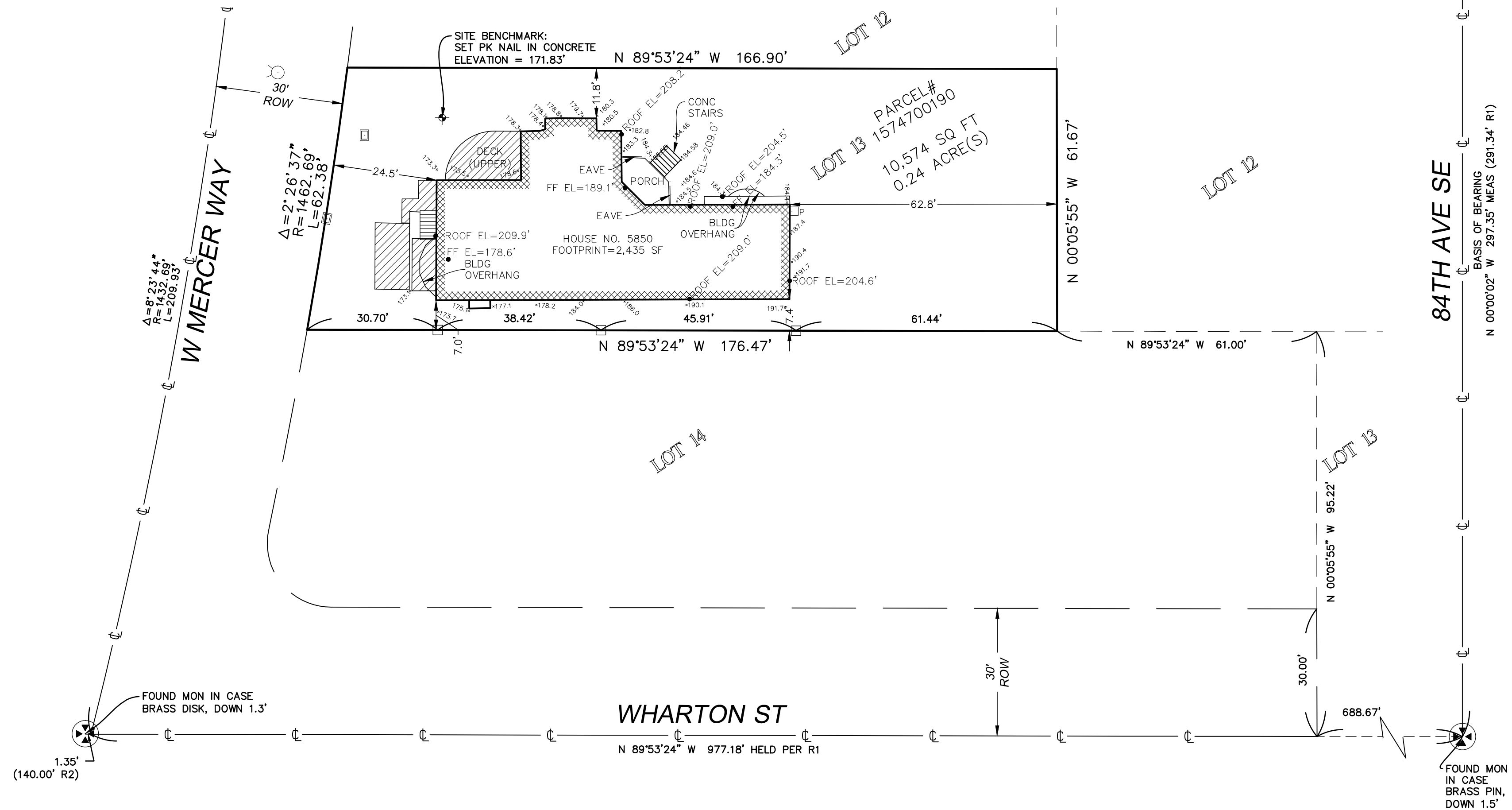
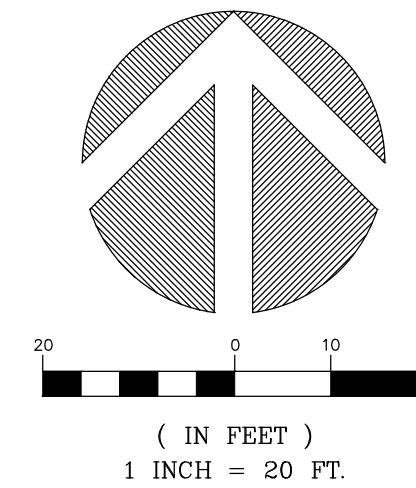
1. THE SURVEY SHOWN HEREON WAS PERFORMED IN FEBRUARY OF 2020. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. SUBJECT PROPERTY TAX PARCEL NO. 1574700190
4. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
5. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

**VERTICAL DATUM**

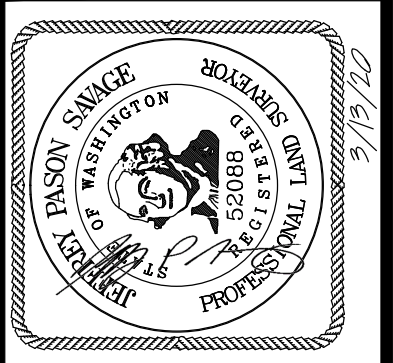
NAVD88 PER GPS OBSERVATIONS.

**LEGEND**

- BUILDING
- CENTERLINE ROW
- DECK
- FIRE HYDRANT
- INLET (TYPE 1)
- LINE STAKE
- MONUMENT IN CASE (FOUND)
- POWER METER



**Terrane**  
 10801 Main Street, Suite 102, Bellevue, WA 98004  
 phone 425.458.4488 support@terrane.net  
 www.terrane.net



**BOUNDARY SURVEY**  
 NE 1/4 OF SE 1/4, SEC. 24, T. 24 N., R. 04 E., W.M.  
**XU RESIDENCE**  
 PARCEL NO. 1574700190  
 MERCER ISLAND 5850 W MERCER WAY WA 98040

JOB NO.:	191733
DATE:	03/06/20
DRAFTED BY:	JPH
CHECKED BY:	JPS
SCALE:	1" = 20'
1 OF 1	

CONSULTANTS



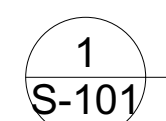
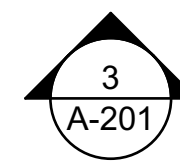
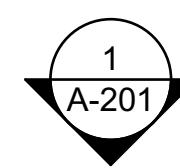
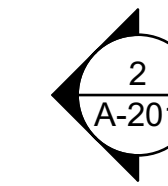
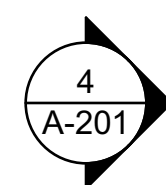
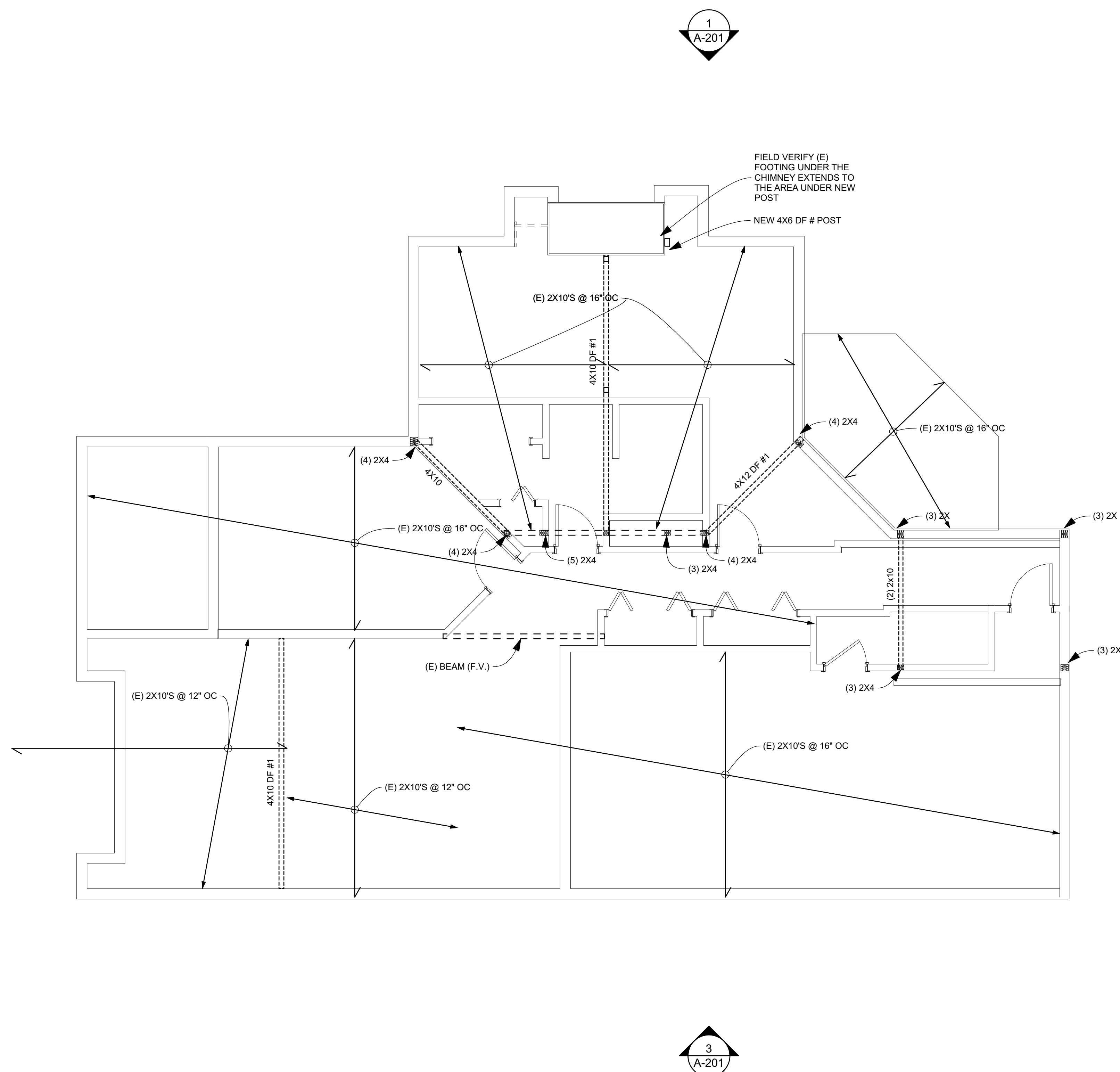
**XU REMODEL**  
5850 W MERCER WAY MERCER ISLAND WA 90840

PROJECT NO: 2019-03  
MODEL FILE:  
Xu Remodel.pln  
DRAWN BY: BH  
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SHEET TITLE

Basement Walls & First  
Floor Framing

**S-101**



**Basement Walls & First Floor Framing**

SCALE: 1/4" = 1'-0"

CONSULTANTS



**XU REMODEL**  
5850 W MERCER WAY MERCER ISLAND WA 90840

PROJECT NO: 2019-03  
MODEL FILE:  
Xu Remodel.pln  
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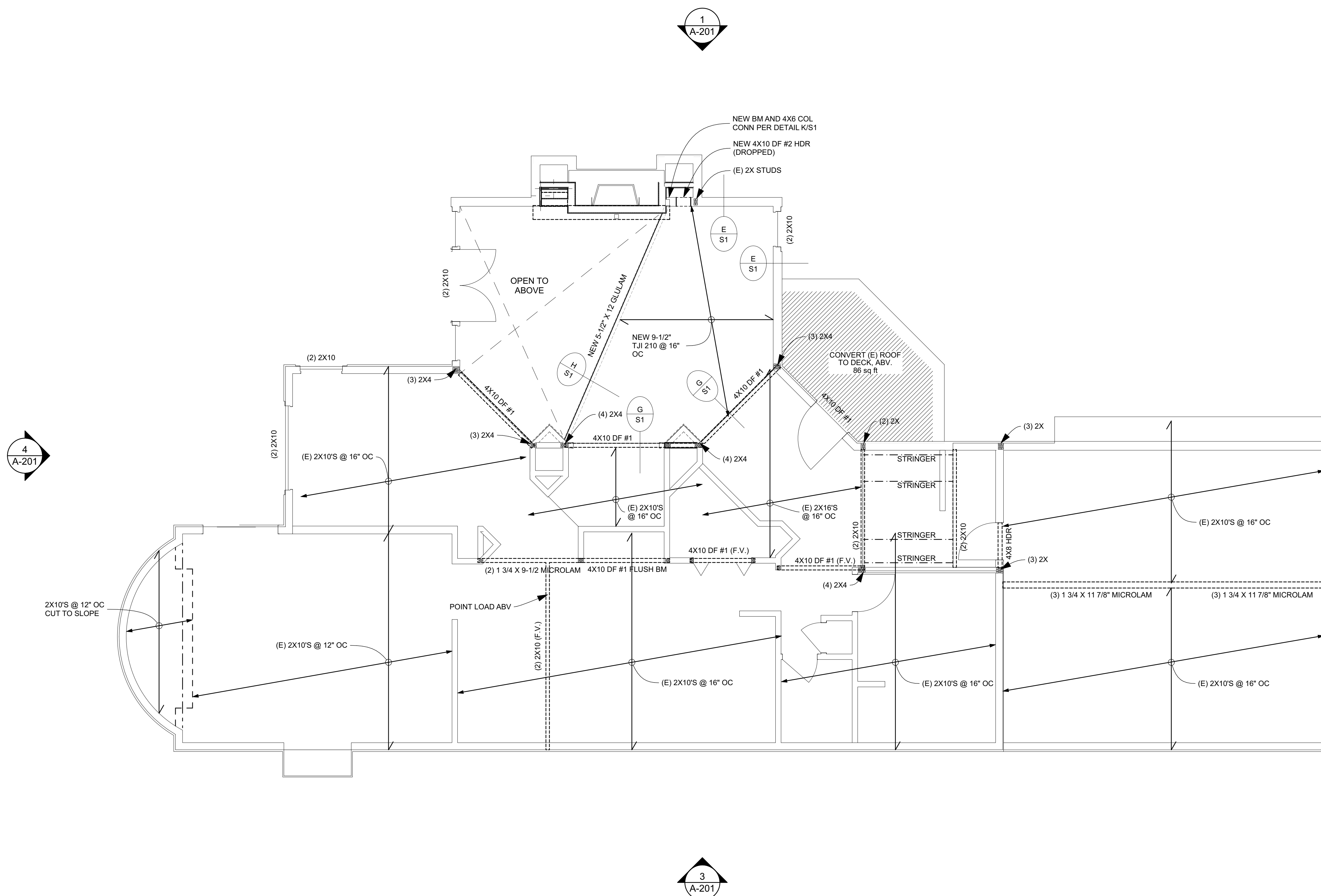
SHEET TITLE

First Floor Walls &  
Second Floor Framing

**S-102**

SHEET 39

OF 55



1  
S-102

First Floor Walls & Second Floor Framing

SCALE: 1/4" = 1'-0"

CONSULTANTS



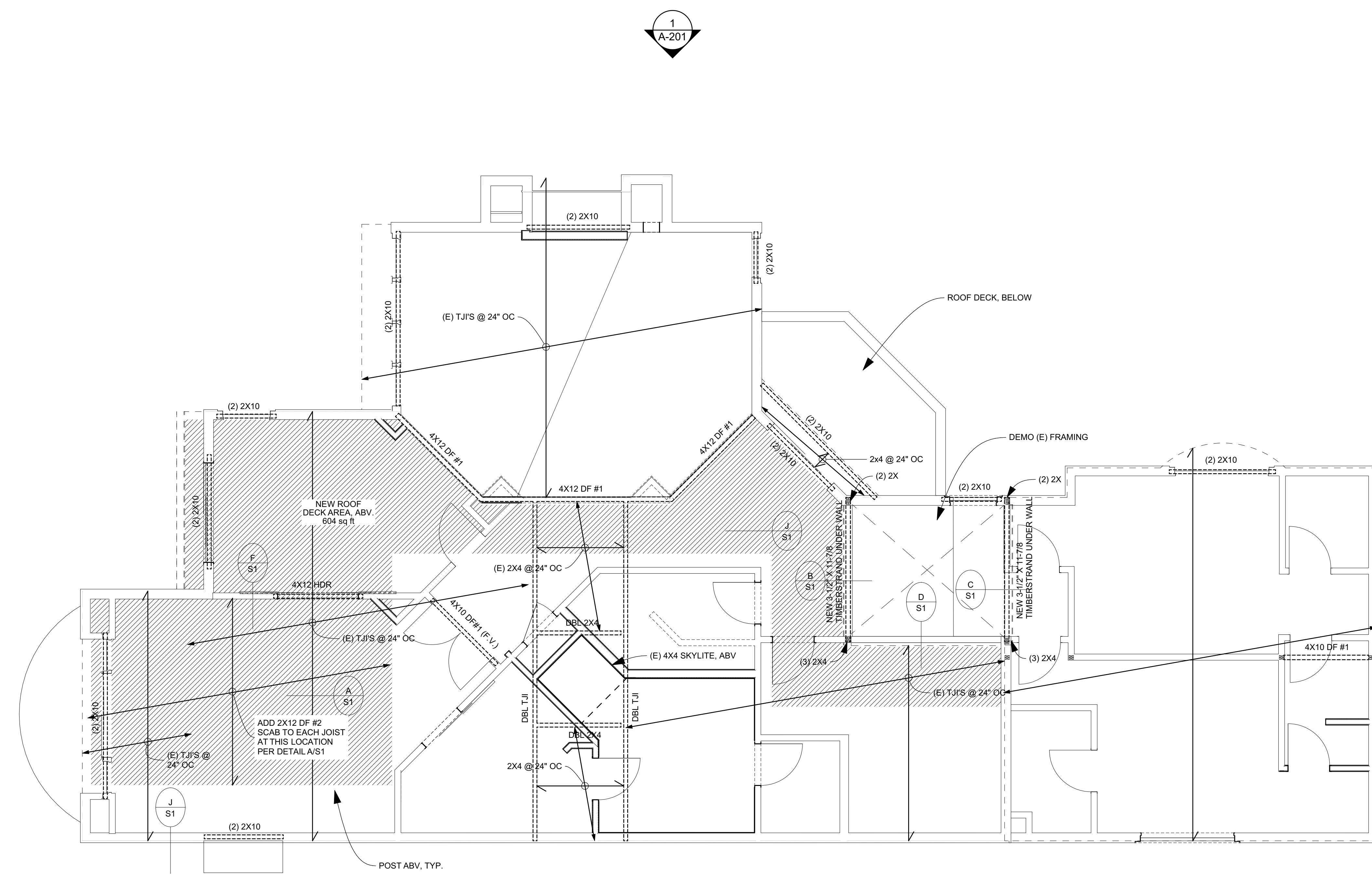
**XU REMODEL**  
5850 W MERCER WAY MERCER ISLAND WA 90840

PROJECT NO: 2019-03  
MODEL FILE:  
Xu Remodel.pln  
DRAWN BY: BH  
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SHEET TITLE  
**Second Floor Walls & Roof Framing Plan**

**S-103**

SHEET 40 OF 55



4  
A-201

1  
A-201

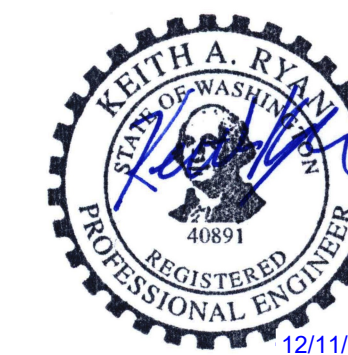
2  
A-201

3  
A-201

1  
S-103

**Second Floor Walls & Roof Framing**  
SCALE: 1/4" = 1'-0"

CONSULTANTS



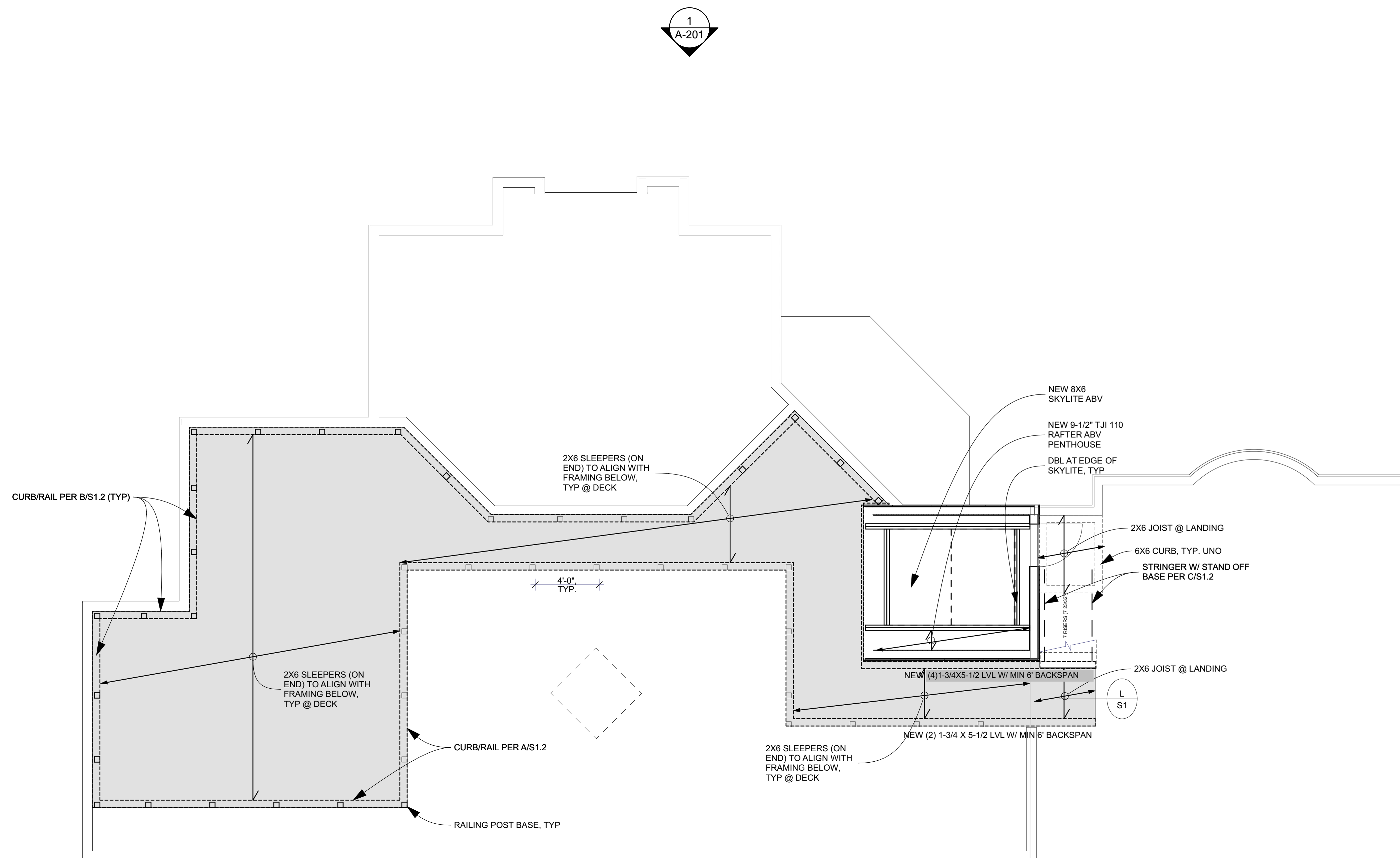
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5850 W MERCER WAY MERCER ISLAND WA 90840

PROJECT NO: 2019-03  
MODEL FILE:  
Xu Remodel.pln  
DRAWN BY: BH  
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SHEET TITLE  
**Roof Deck Framing**

**S-104**

SHEET 41 OF 55



4  
A-201

2  
A-201

3  
A-201

1  
A-201

2

**Roof Deck & Penthouse Roof Framing**

SCALE: 1/4" = 1'-0"

C:\Files\01 Architecture\01 Projects\2019-03 Derek Xu Remodel\03 CAD\Xu Remodel.pln

**STRUCTURAL NOTES**

**GENERAL:**

ALL METHODS, MATERIALS AND WORKMANSHIP ARE TO CONFORM TO THE INTERNATIONAL BUILDING CODE AND STANDARDS, 2015 EDITION (IBC '15), AS AMENDED AND ADOPTED BY THE GOVERNING JURISDICTION.

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:

- a.) PROVIDING TEMPORARY SHORING AND BRACING UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN INSTALLED AND CONNECTIONS COMPLETED.
- b.) FIELD VERIFICATION AND COORDINATION OF ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK.
- c.) BRINGING TO THE ATTENTION OF THE BUILDING DESIGNER ANY CONFLICTS IN DIMENSIONS, MATERIALS OR NOTES SHOWN ON THE PLANS.
- d.) INSTALLATION OF PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

MATERIALS, MEMBER SIZES, NOTES, ETC. SHOWN ON THESE STRUCTURAL PLANS ARE SPECIFIC FOR THE PROJECT AND TAKE PRECEDENCE OVER ANY CONFLICT WITH THE STRUCTURAL NOTES THAT FOLLOW.

DESIGN CRITERIA:

FLOOR LIVE LOAD 40 psf (with other live loads in accordance with IBC '15, table 1607.1)  
 ROOF TOP DECK LIVE LOAD 60 psf  
 ROOF SNOW LOAD 25 psf  
 WIND: V3s= 110 mph / Exp B Kzt=1.6

SEISMIC: SEISMIC IMPORTANCE FACTOR I=1  
 MAPPED SPECTRAL RESPONSE ACCELERATIONS, SS=146, S1=56  
 SITE CLASS=D, SEISMIC DESIGN CATEGORY: D  
 SPECTRAL RESPONSE COEFFICIENTS: Sps=0.97 AND S11=0.56  
 BASIC SEISMIC FORCE RESISTING SYSTEM: WOOD SHEAR WALL  
 RESPONSE MODIFICATION FACTOR: R=6.5

**PLYWOOD DIAPHRAGMS:**

ROOF SHEATHING IS TO BE 3/4" SPAN RATED 40/20 MINIMUM DIRECTLY NAILED TO SUPPORTING TRUSSES OR RAFTERS WITH 8d COMMON @ 6" o.c. AT ALL EDGES AND 8d COMMON @ 12" o.c. AT ALL INTERMEDIATE SUPPORTS.

FLOOR SHEATHING (SUB-FLOORING) IS TO BE 3/4" T&G SPAN RATED 24" O.C. AT UPPER AND LOWER FLOOR. SHEATHING TO BE DIRECTLY GLUED AND NAILED TO SUPPORTING JOIST OR BEAMS WITH 10d COMMON @ 6" o.c. AT ALL EDGES AND 10d COMMON @ 12" o.c. AT ALL INTERMEDIATE SUPPORTS.

ALL SHEATHING IS TO BE LAID UP WITH THE FACE GRAIN PERPENDICULAR TO THE SUPPORTS.

**METAL CONNECTORS FOR WOOD:**

THE MODEL NUMBERS OF METAL CONNECTORS WHERE SPECIFIED ON THE PLANS ARE THOSE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.

BOLTS ARE TO BE A307 WITH WASHERS AT ALL WOOD SURFACES BENEATH HEAD OR NUT. BOLT HOLES ARE TO BE 1/16" GREATER IN DIAMETER THAN BOLT DIAMETER. NAILS ARE TO BE COMMON WIRE NAILS AND OF QUANTITY, SIZE, LENGTH AND TYPE AS SPECIFIED BY SIMPSON.

NAILS ARE COMMON WIRE.

METAL CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD ARE TO HAVE A CORROSION PROTECTIVE COATING PER THE RECOMMENDATIONS OF THE PRESERVATIVE TREATED WOOD SUPPLIER AND THE METAL CONNECTOR MANUFACTURER. IF THE NEEDED INFORMATION IS NOT PROVIDED STAINLESS STEEL CONNECTORS ARE RECOMMENDED.

FASTENERS INSTALLED IN PRESERVATIVE TREATED WOOD TO BE HOT DIPPED GALVANIZED, OR STAINLESS STEEL PER IBC 2304.10.5

**WOOD FRAMING:**

2x LUMBER TO BE HF#2 OR BETTER EXCEPT WALL STUDS MAY BE HF STUD GRADE & SILL PLATES HF#3 WHERE NOT SPECIFIED ON THE PLANS:

- a.) COLUMNS IN WALLS ARE TO BE (2) 2x STUDS OF THE SAME WIDTH AS THE WALL AND SPIKED TOGETHER WITH 10d @ 12" o.c. (UNLESS NOTED OTHERWISE)
- b.) FLOOR FRAMING PARALLEL TO INTERIOR PARTITIONS IS TO HAVE ONE FLOOR JOIST DIRECTLY BENEATH EACH PARTITION LESS THAN ONE HALF SPAN LENGTH AND TWO JOISTS WHERE PARTITION EXCEEDS ONE HALF THE SPAN LENGTH OF THE JOIST.
- c.) FLOOR JOISTS ARE TO BE BLOCKED AT ALL BEARINGS.
- d.) WALL TOP JOISTS ARE TO HAVE STAGGERED SPLICES A MINIMUM OF 4'-0" APART AND SPIKED TOGETHER IN THE SPLICED ZONE WITH A MINIMUM OF 8-16d SINKERS.
- e.) WOOD IN CONTACT WITH THE WEATHER, SOIL, CONCRETE OR MASONRY IS TO BE PRESERVATIVE TREATED.
- f.) ISOLATED COLUMNS ARE TO HAVE "CC" TYPE COLUMN CAPS. COLUMNS IN WALLS ARE TO HAVE "AC", "LPC", OR "PC" TYPE POST CAPS.

**STRUCTURAL GLUED LAMINATED TIMBER:**

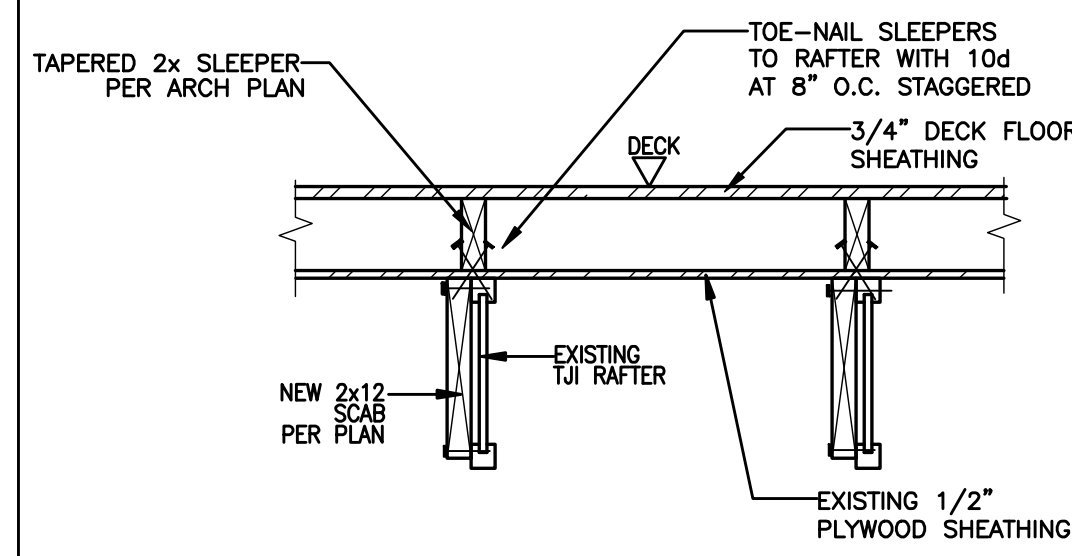
MANUFACTURED BEAMS ARE TO BE OF DOUGLAS FIR AND STRESS GRADE COMBINATION 24F-V4, BEAM CAMBER WHERE REQUIRED IS SHOWN ON THE PLANS.

**STRUCTURAL PREFABRICATED WOOD PRODUCTS:**

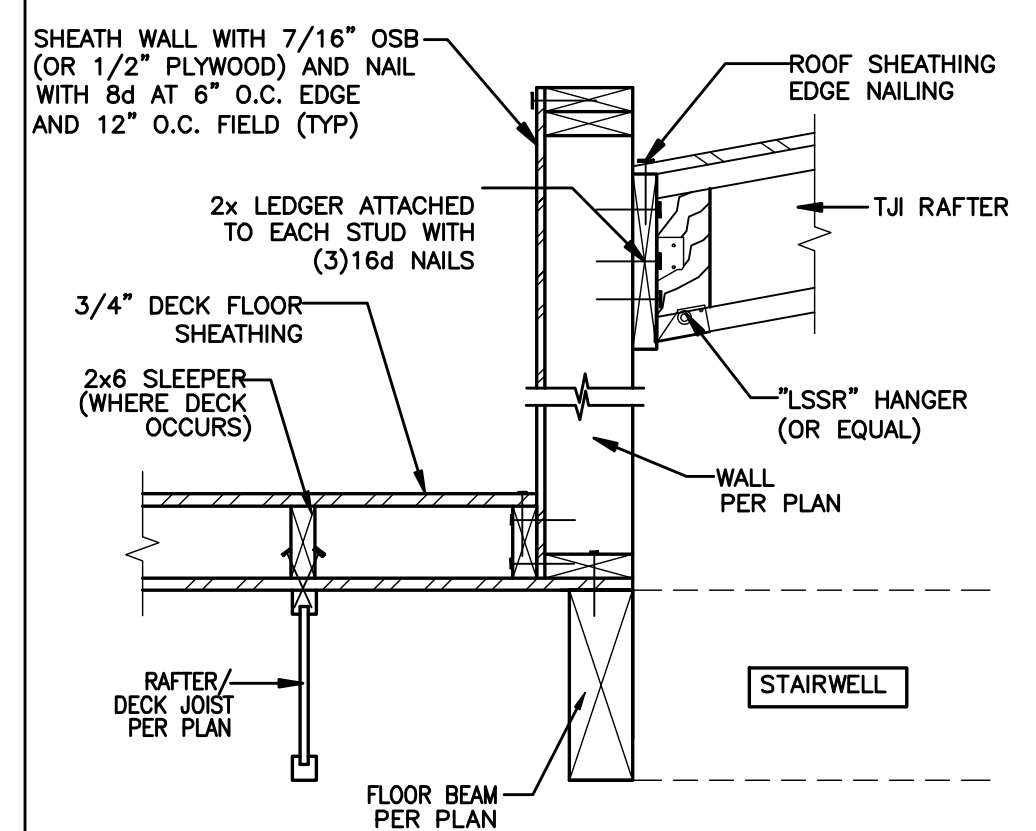
WOOD I-BEAMS AND OTHER PREFABRICATED WOOD PRODUCTS SHOWN ON THE PLANS ARE THOSE PRODUCTS AS MANUFACTURED BY TRUSS JOIST McCOLLIAN.

**STRUCTURAL STEEL:**

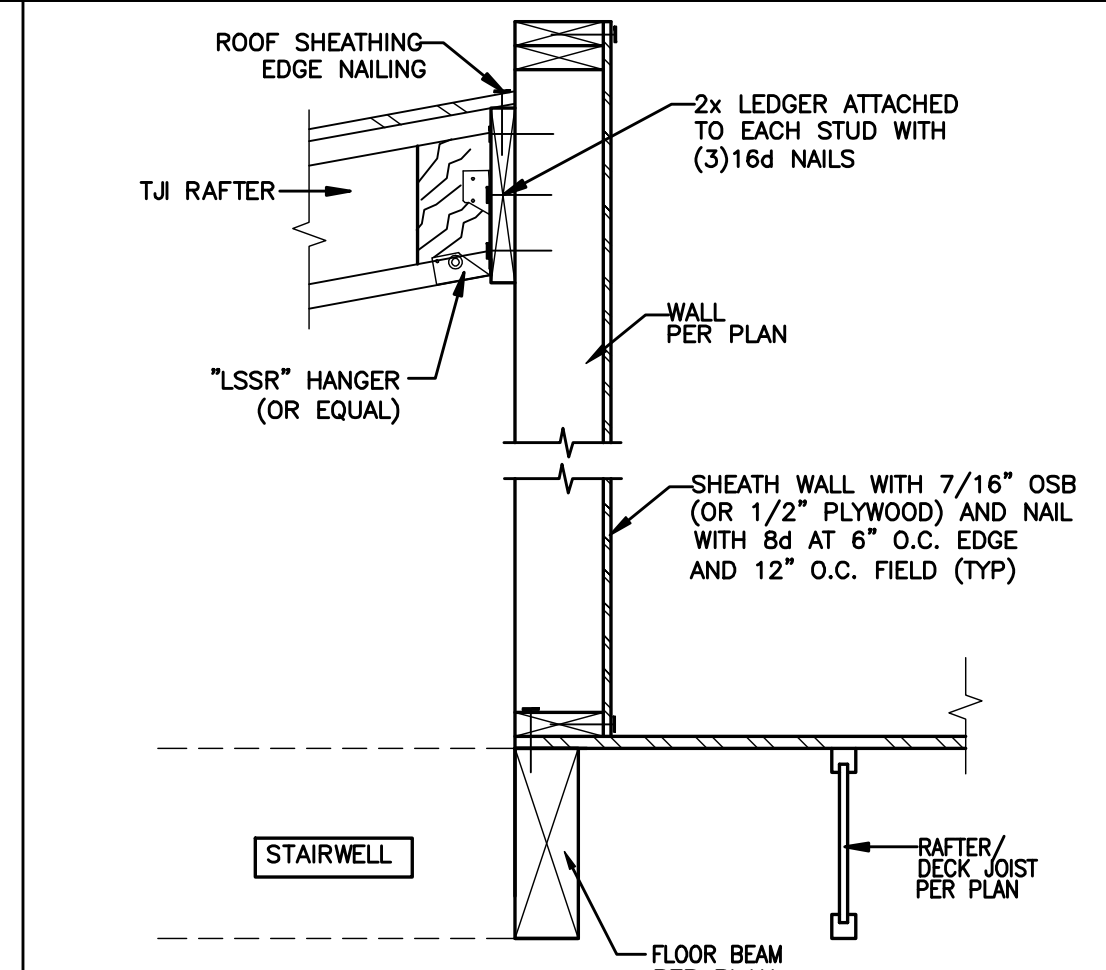
STRUCTURAL STEEL IS TO CONFORM TO THE FOLLOWING: SHAPES A992, TUBES A500 GRADE B, AND PLATES A36. FABRICATION AND ERECTION IS TO BE IN ACCORDANCE WITH AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS". ALL STEEL ASSEMBLIES ARE TO RECEIVE AS A MINIMUM ONE COAT OF SHOP APPLIED PRIMER. ALL WELDING IS TO BE SHOP PERFORMED BY WABO CERTIFIED WELDERS AND IN ACCORDANCE WITH THE LATEST EDITION OF AWS D1.1 "STRUCTURAL WELDING CODE". WELD JOINT DESIGNATIONS WHERE SPECIFIED ARE AWS D1.1 PREQUALIFIED COMPLETE JOINT PENETRATION. STRUCTURAL STEEL SHOP WELDING REQUIRES SPECIAL INSPECTION IN ACCORDANCE WITH IBC 15. WELDING ELECTRODES ARE TO BE E70 STRENGTH.



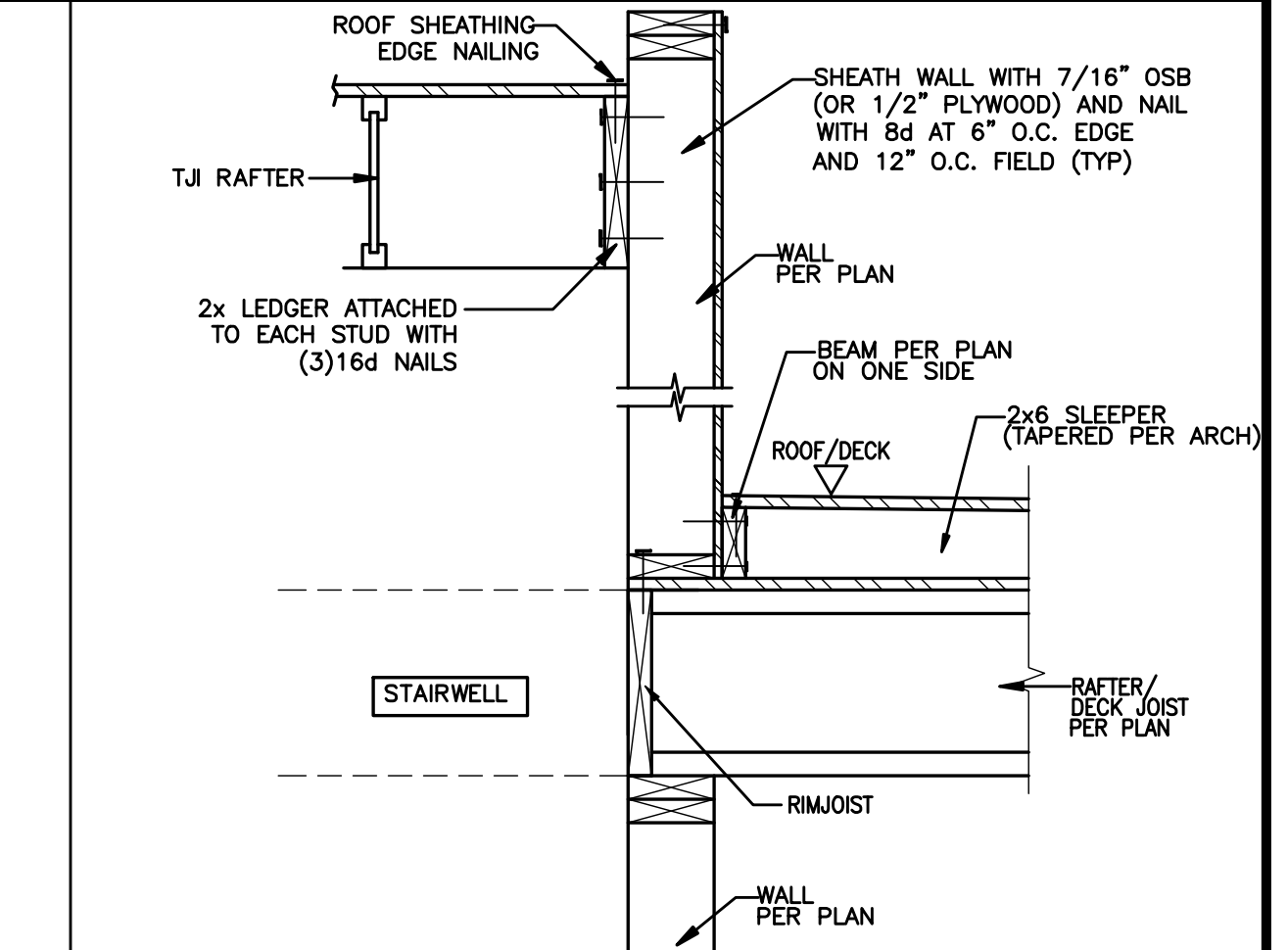
**A** DECK/ROOF FRAMING DETAIL  
1"=1'-0"



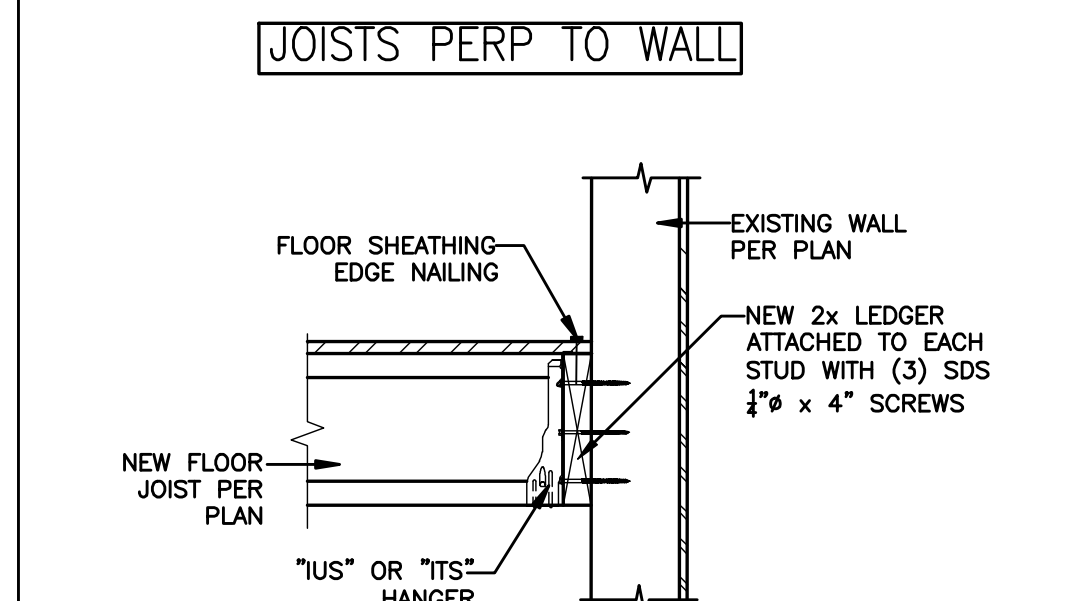
**B** FLOOR BEAM DETAIL  
1"=1'-0"



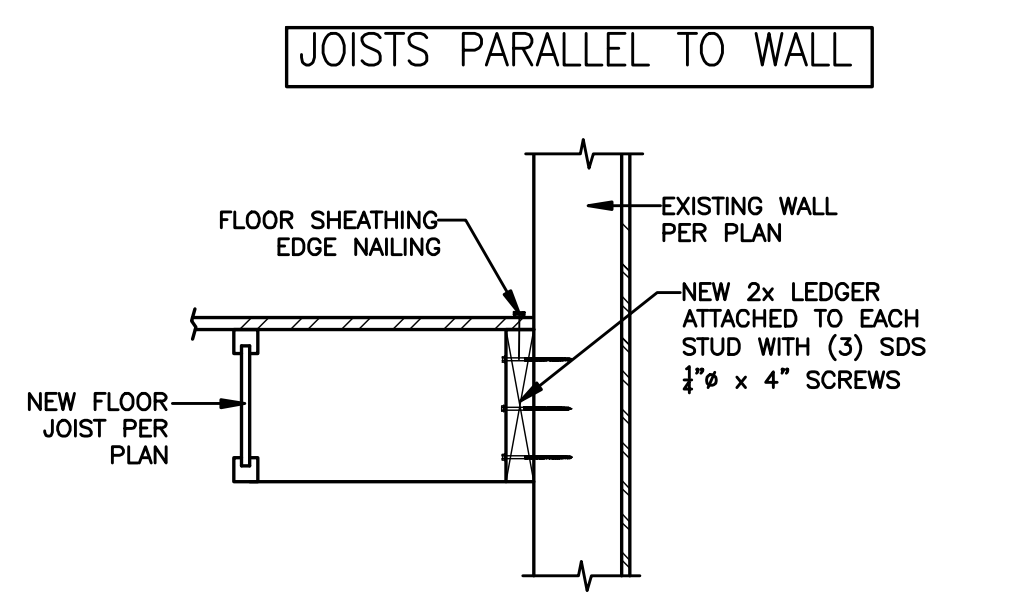
**C** FLOOR BEAM DETAIL  
1"=1'-0"



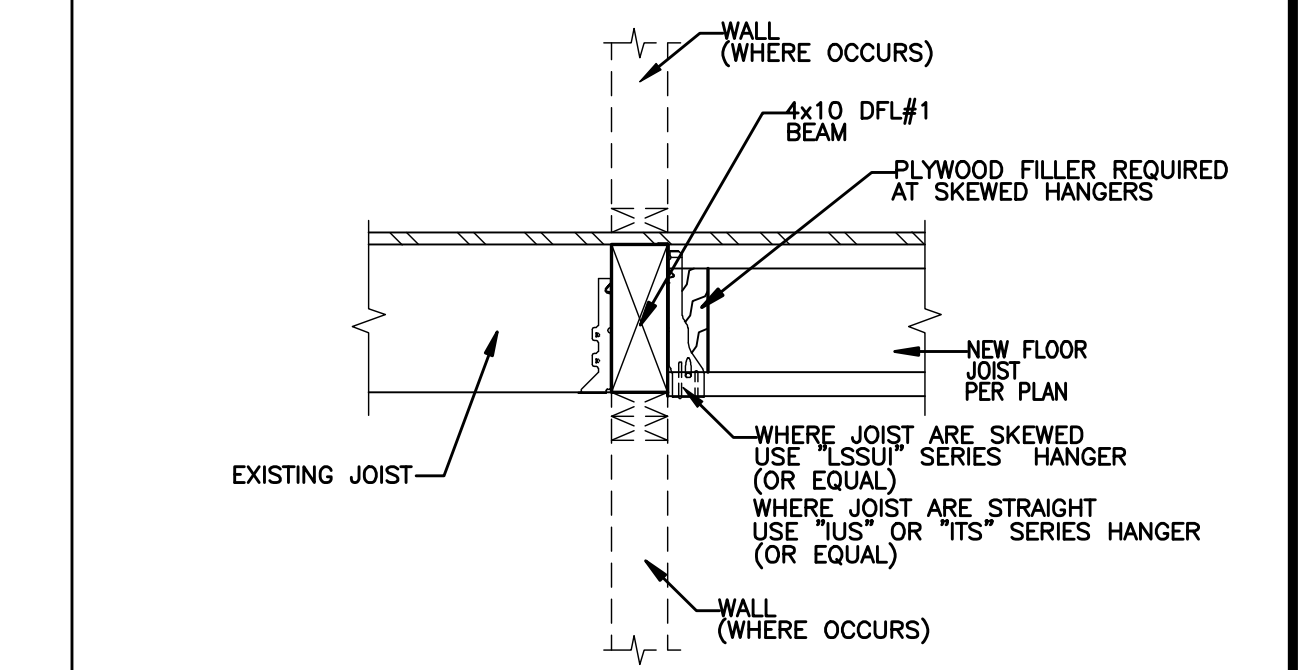
**D** WALL/FLOOR FRAMING DETAIL  
1"=1'-0"



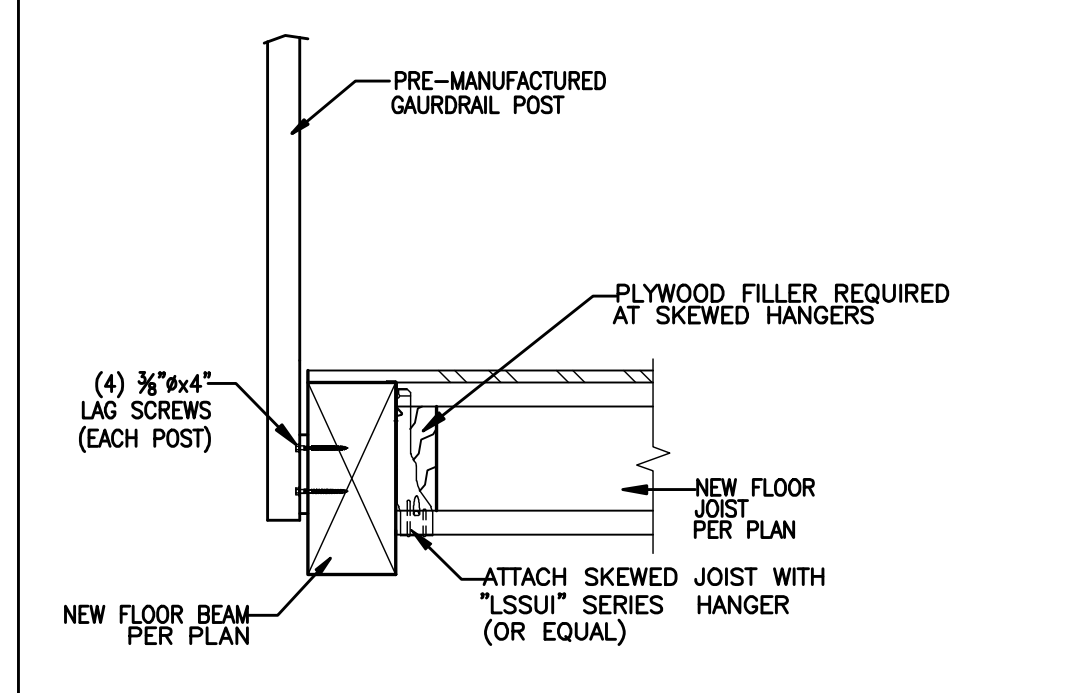
**E** LOFT FLOOR LEDGER DETAILS  
1"=1'-0"



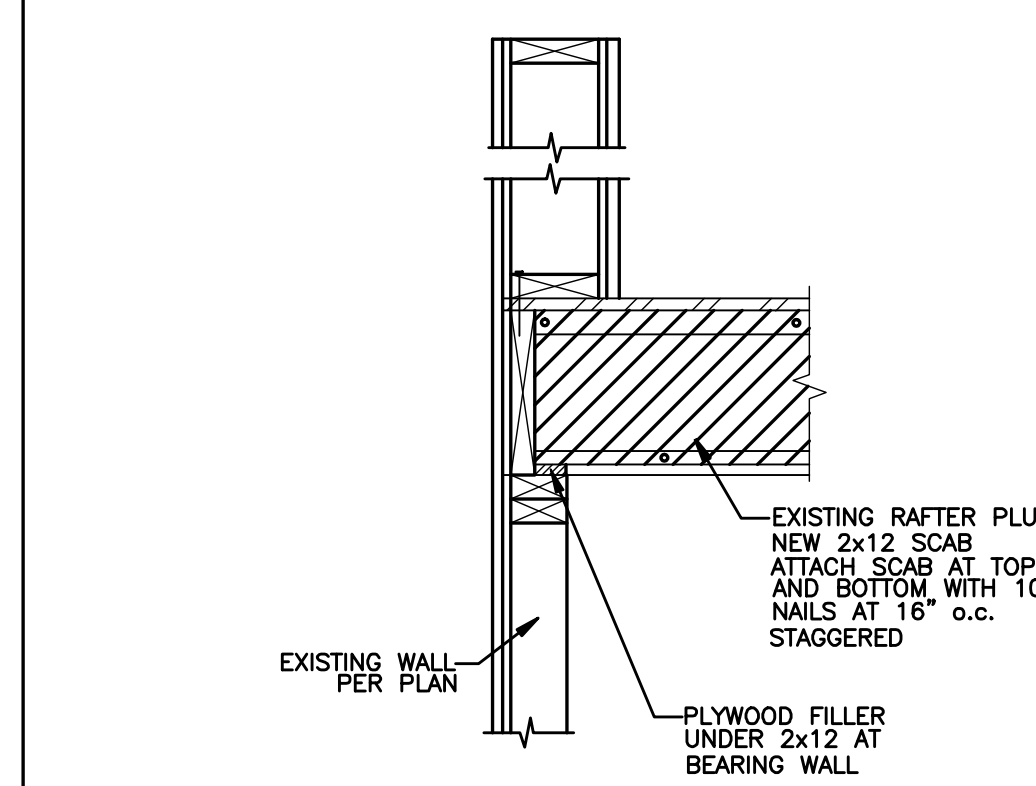
**F** ROOF FRAMING DETAIL (BEARING WALL)  
1"=1'-0"



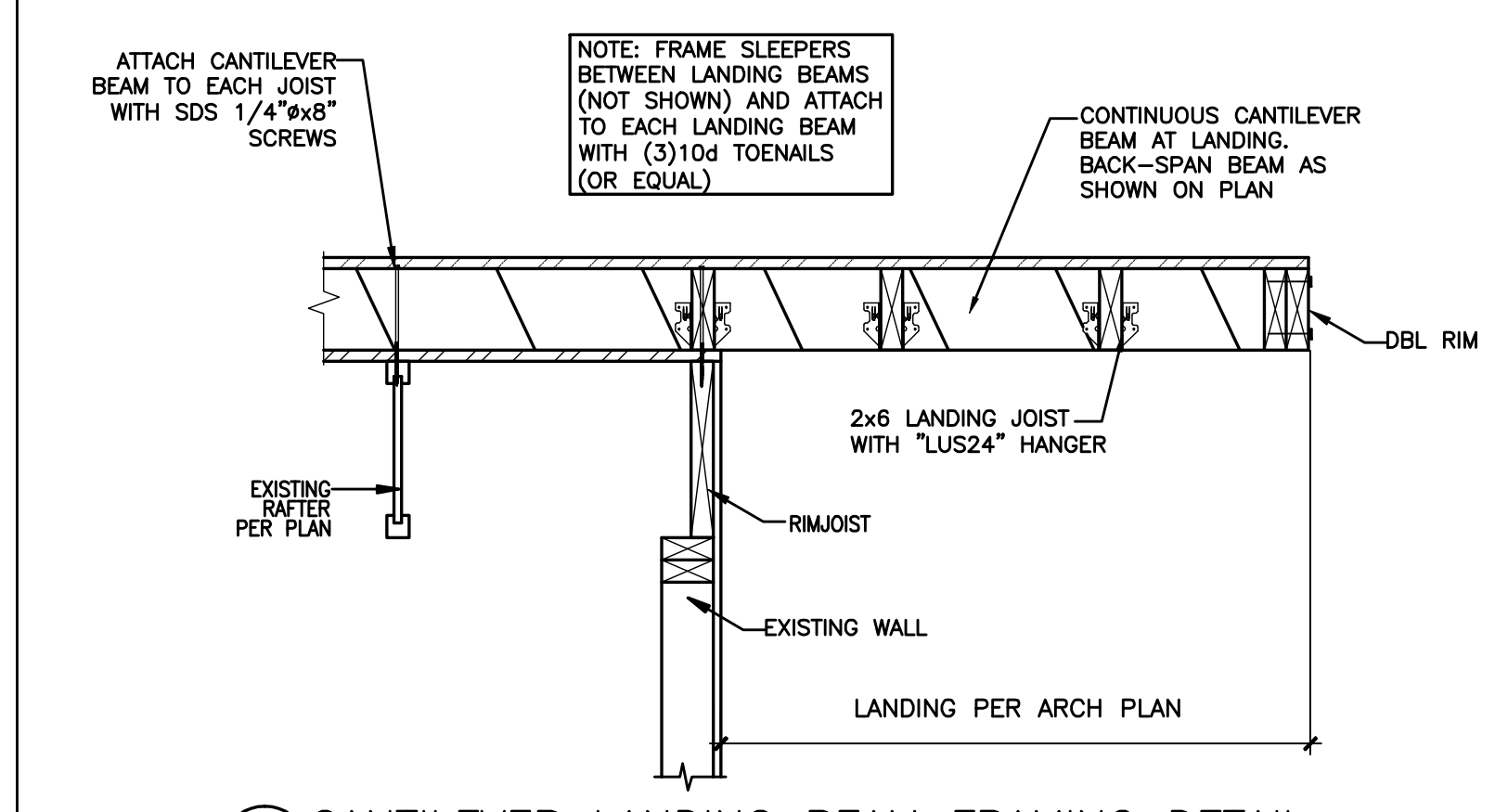
**G** FLOOR BEAM DETAIL  
1"=1'-0"



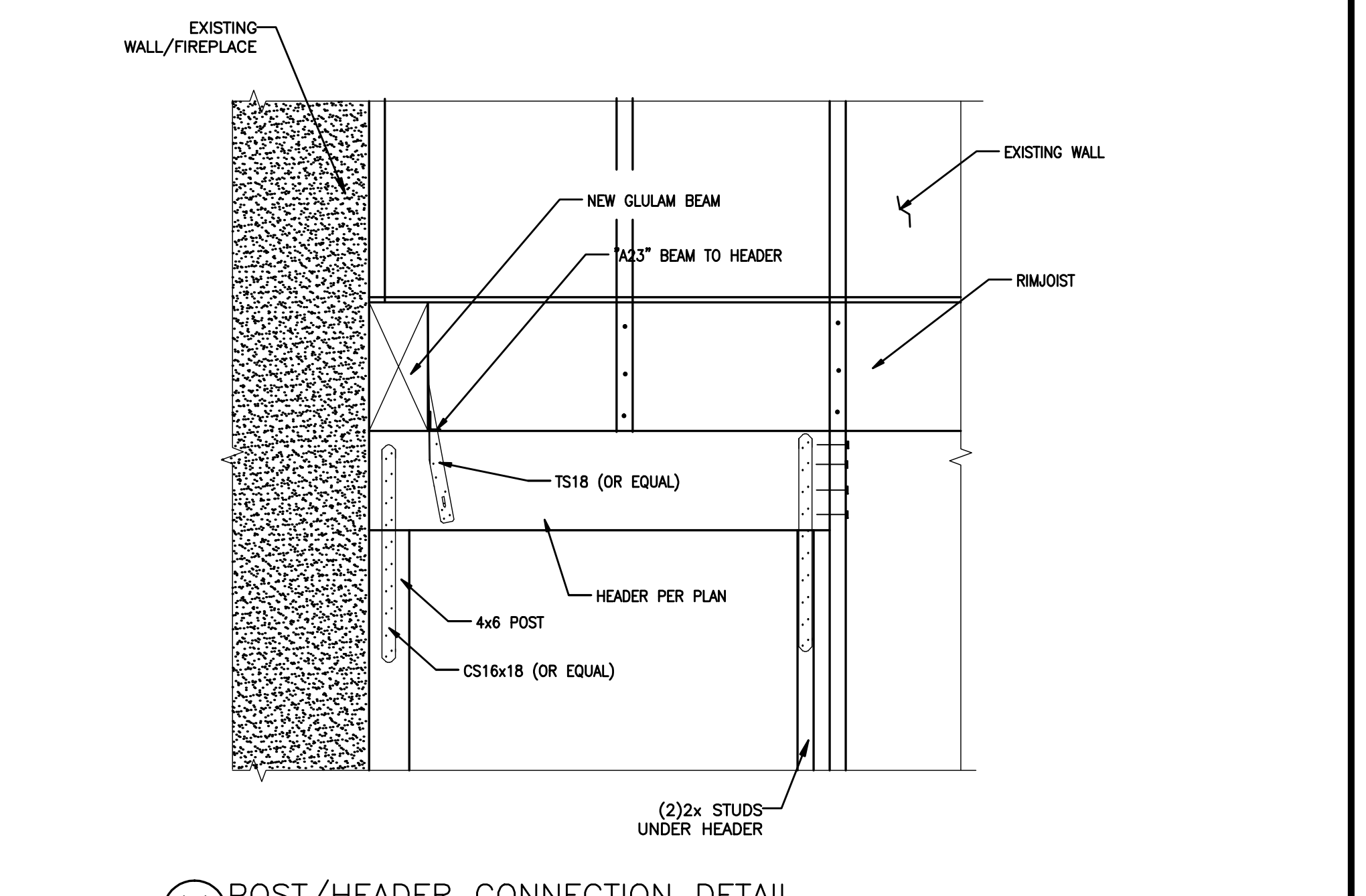
**H** FLOOR BEAM DETAIL  
1"=1'-0"



**J** ROOF JOIST FRAMING DETAIL  
1"=1'-0"



**L** CANTILEVER LANDING BEAM FRAMING DETAIL  
1"=1'-0"



**K** POST/HEADER CONNECTION DETAIL AT FIREPLACE  
1"=1'-0"

**TSE ENGINEERING**

12810 N.E. 178<sup>th</sup> ST. Suite 218  
 Woodinville, WA 98072-8702  
 (425) 481-6601



12/10/19

project title:  
 AIR.MOD ARCHITECTURE

XU REMODEL  
 TSE #9107

sheet title:  
 STRUCTURAL  
 NOTES AND  
 DETAILS

revisions:

designer: KR  
 drawn: EI  
 checked: KR  
 date: 12/10/19  
 scale: AS NOTED  
 file: 9107

sheet #:  
 S1



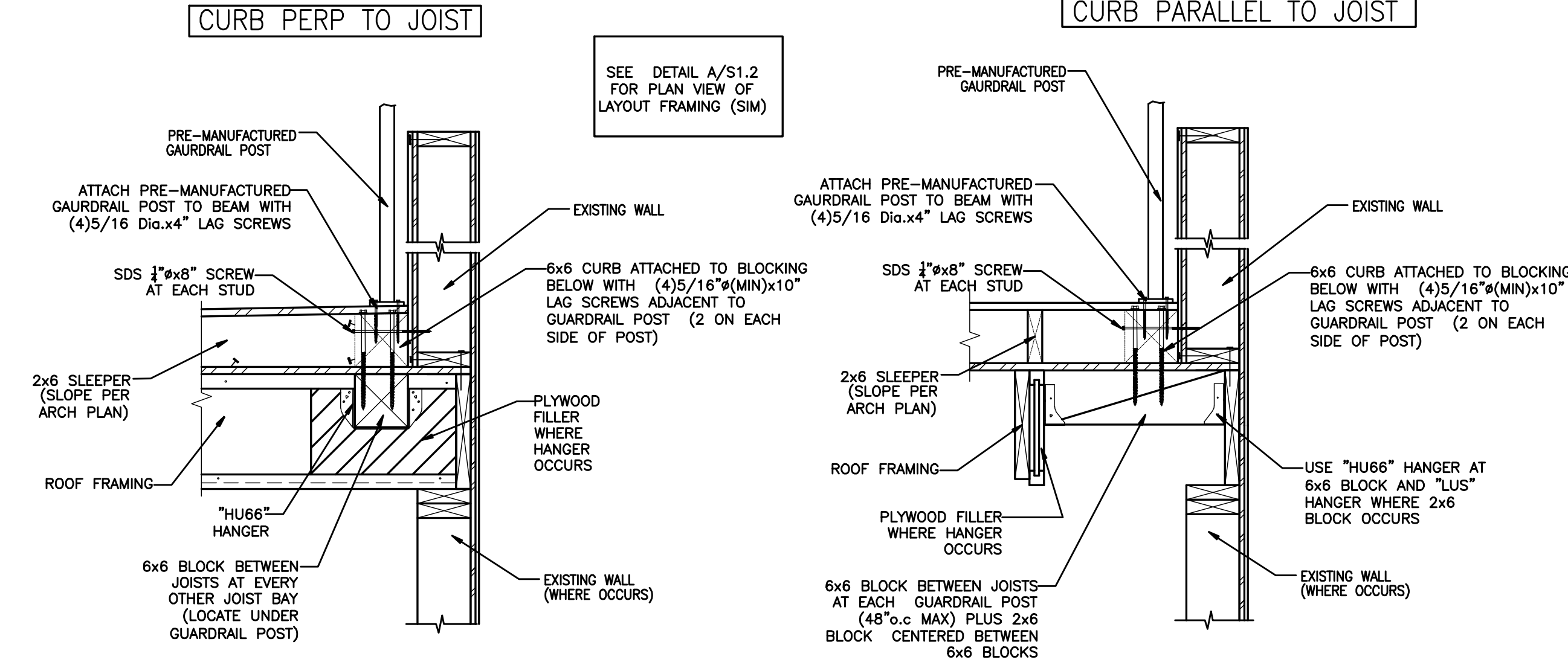
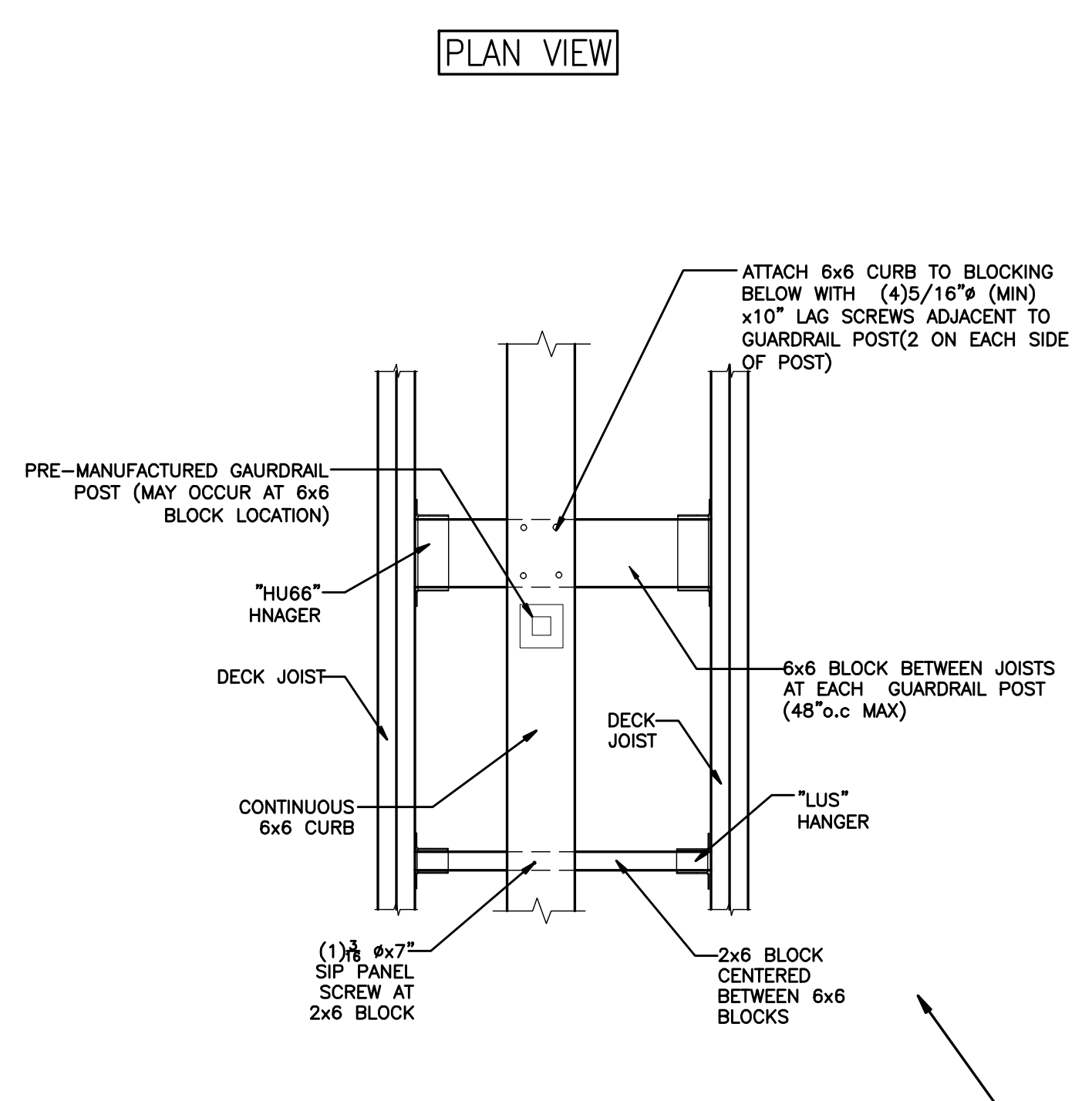
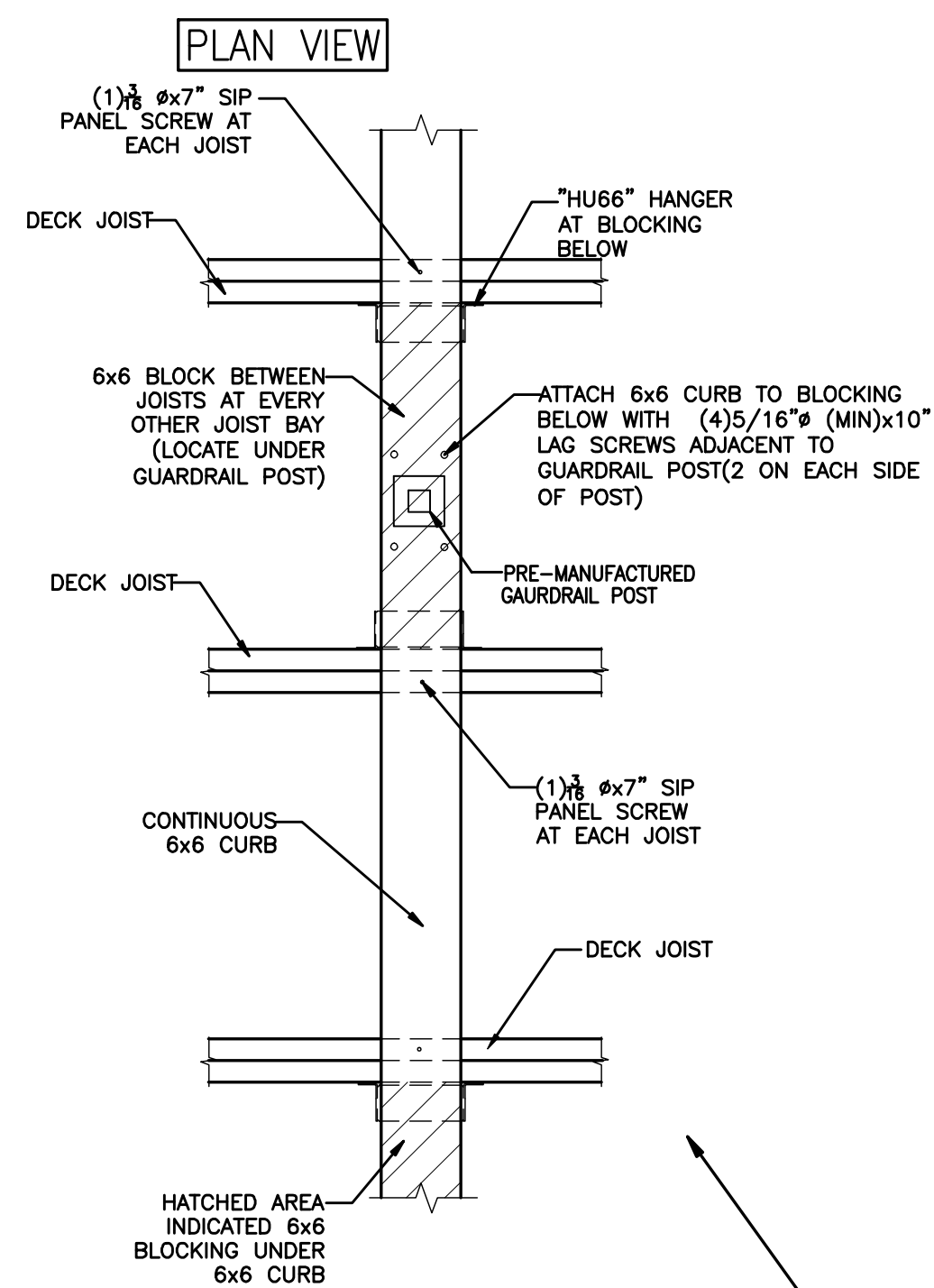
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XU REMODEL  
TSE #9107

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STRUCTURAL  
NOTES AND  
DETAILS

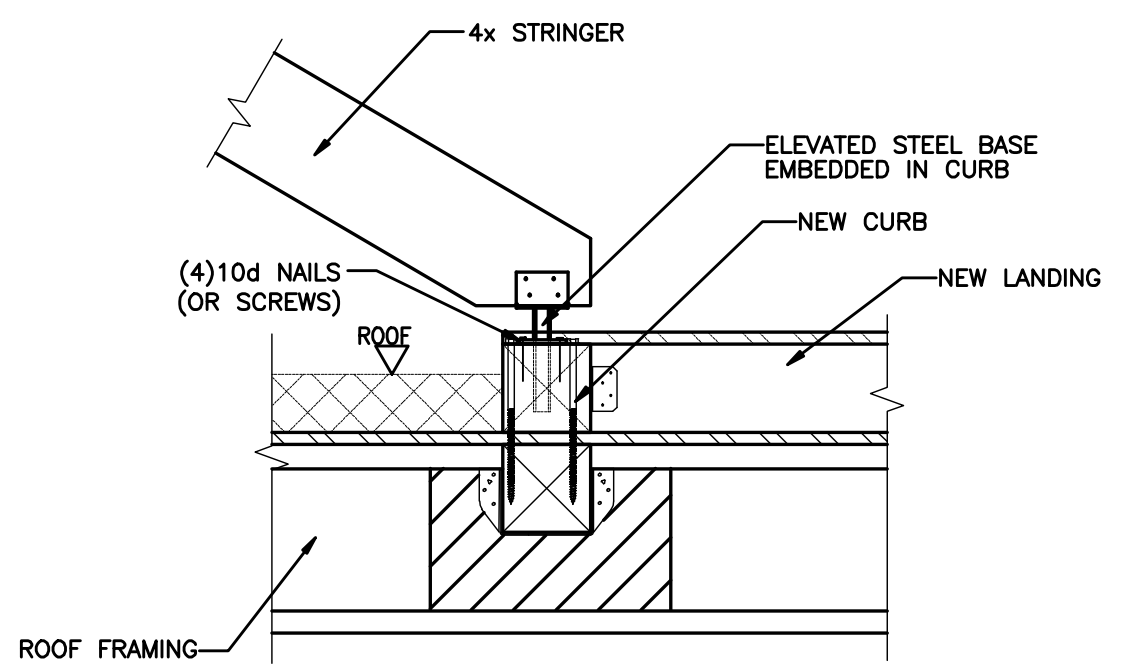
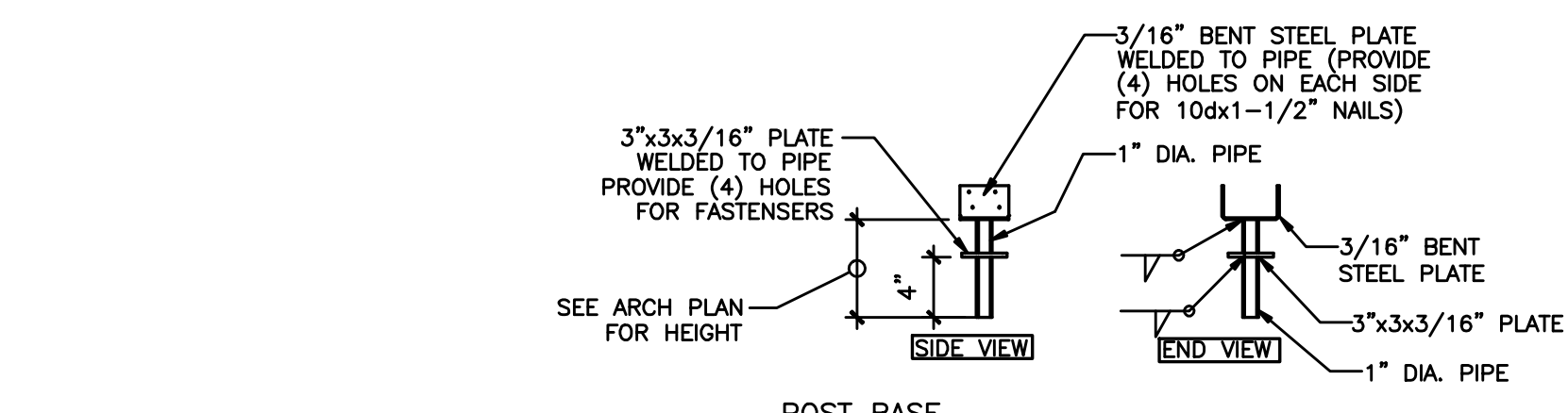
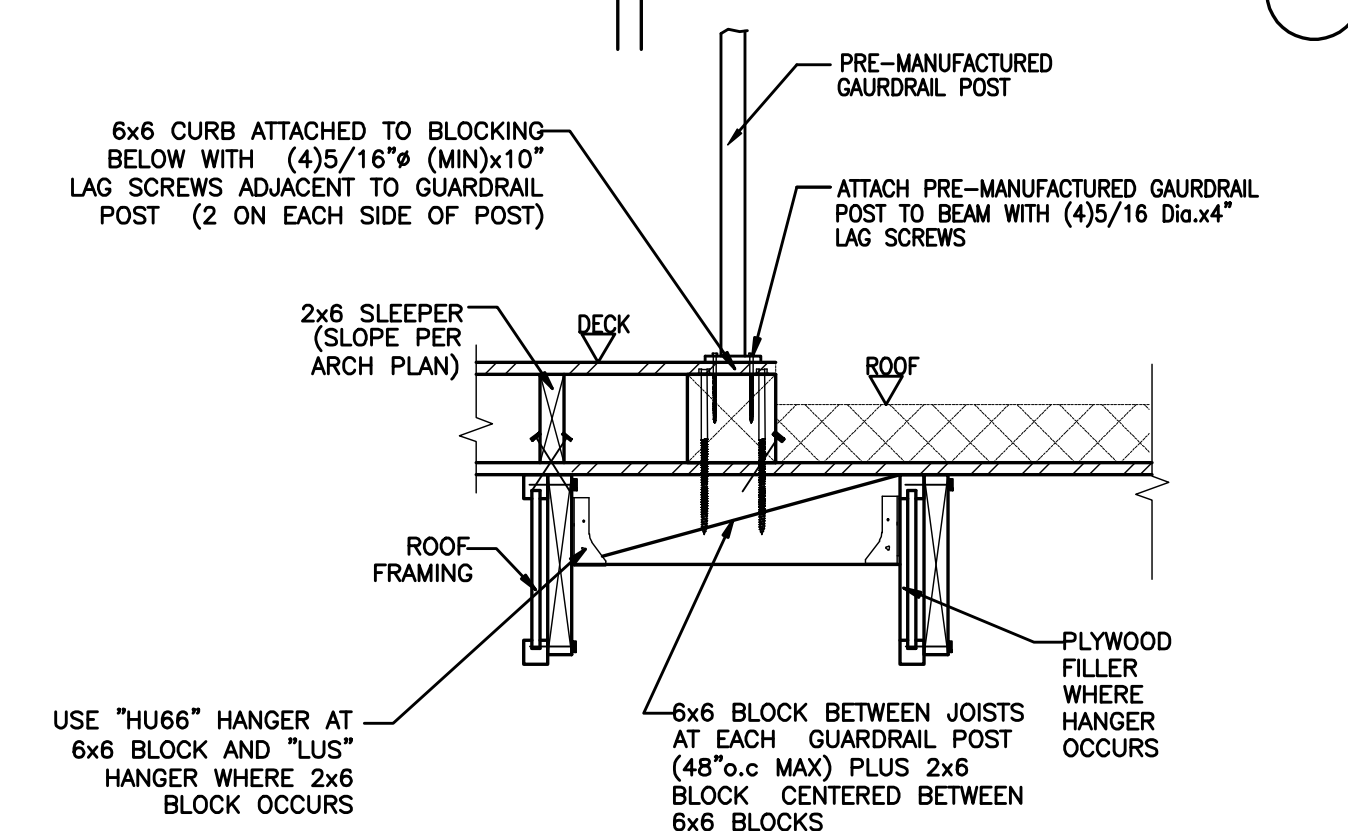
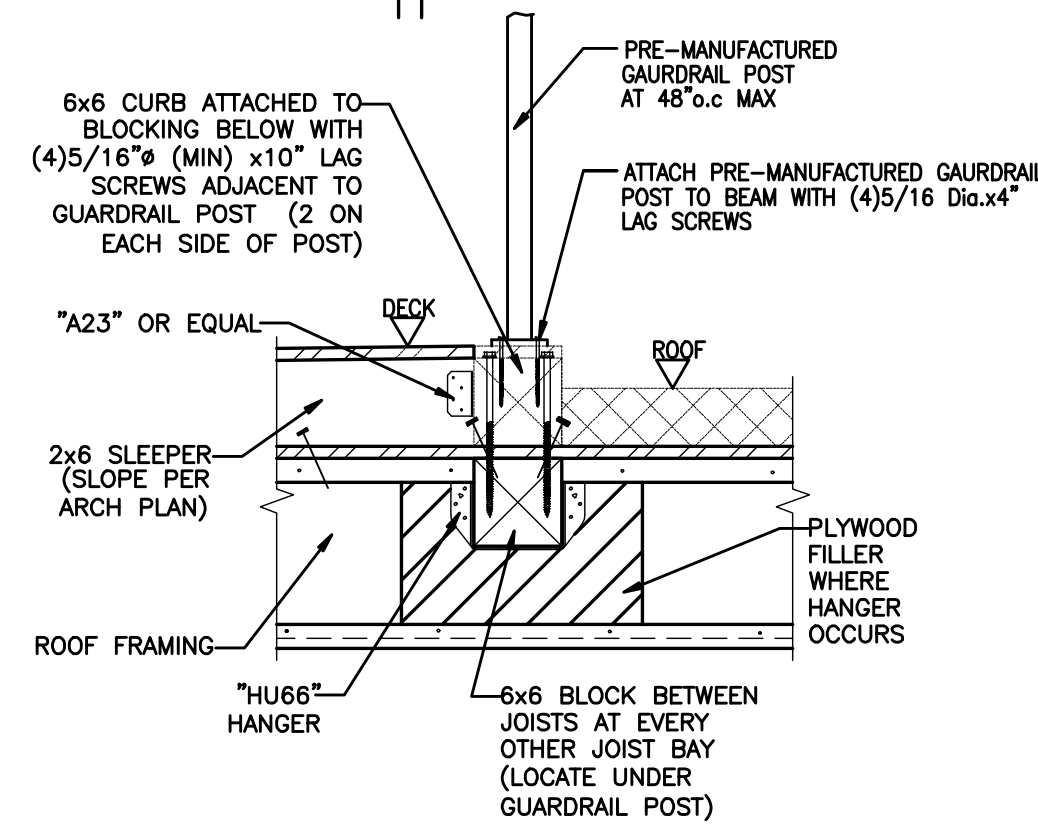
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scale: AS NOTED  
file: 9107

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S1.2

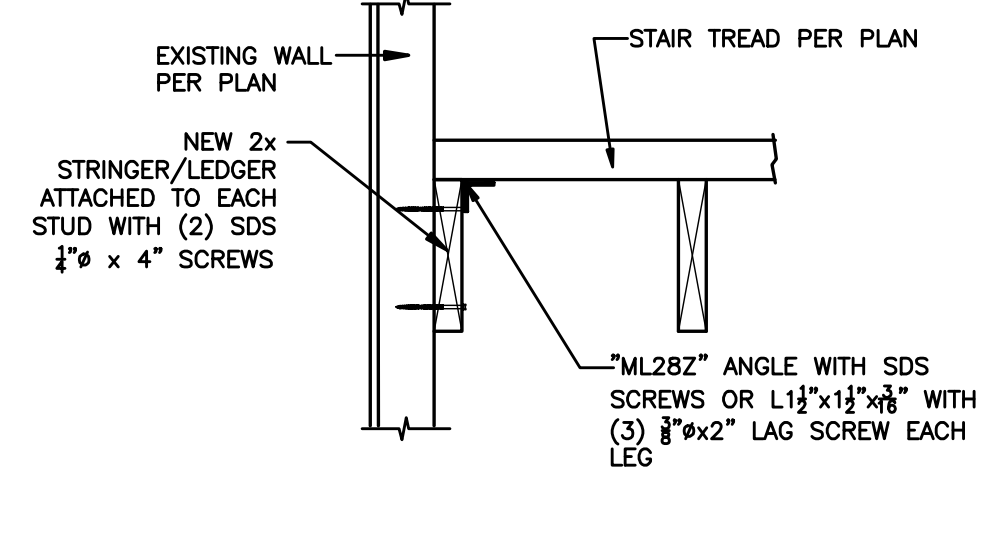
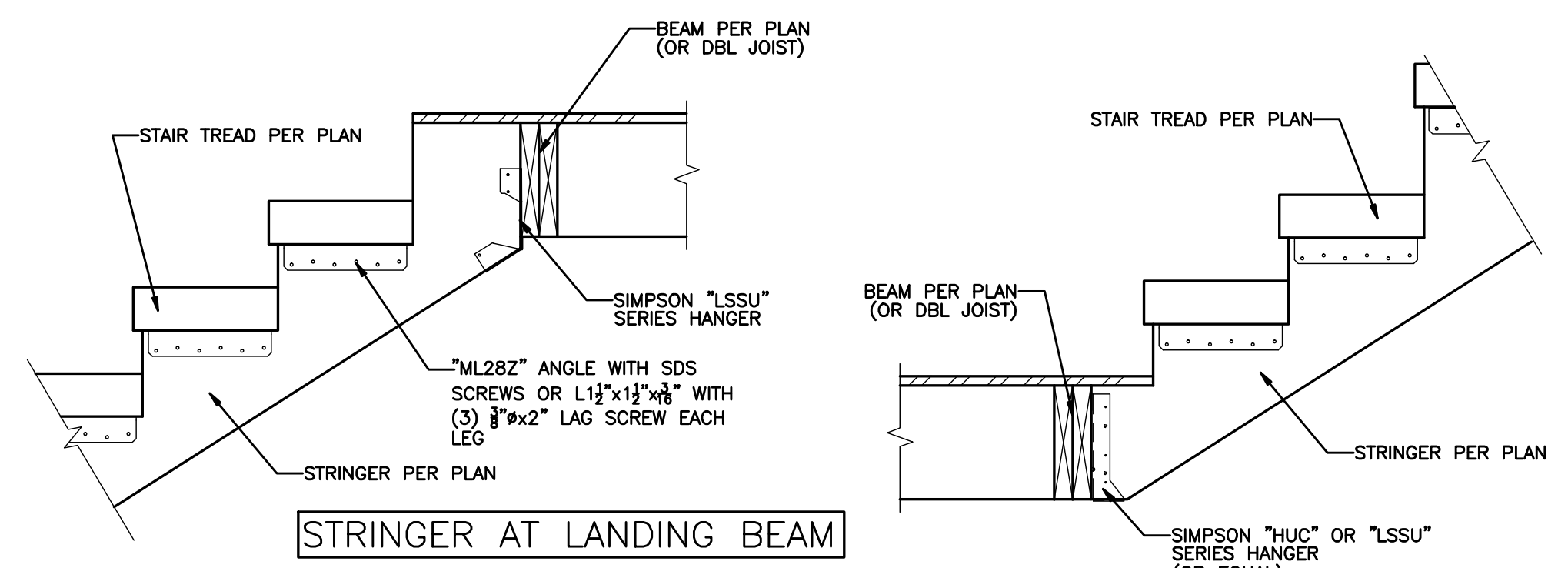


**(B)** DECK GAUARDRAIL CONNECTION DETAIL  
1"=1'-0"



**(C)** STRINGER CONNECTION DETAIL  
1"=1'-0"

**(A)** DECK GAUARDRAIL CONNECTION DETAIL  
1"=1'-0"



**(D)** TYPICAL STRINGER CONNECTION DETAILS  
1"=1'-0"

LEDGER AT WALL



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**WALL FRAMING & DRYWALL NOTES**

- WALL FRAMING:**
1. INSTALL CONTINUOUS SILL GASKETS UNDER ALL PLATES.
  2. WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
  3. FLOOR SHEATHING TO BE GLUED AT EA. JOIST WITH 1/2" BEAD OF CONSTRUCTION ADHESIVE.
  4. INSTALL (2) CONTINUOUS 2X STUDS BETWEEN EA. WINDOW UNIT (U.N.O.) DOOR ROUGH OPENINGS TO BE A MIN OF 4 1/2" FROM INSIDE CORNER OF WALL FRAMING.
  5. PROVIDE BLOCKING AS REQUIRED FOR ATTACHMENT OF ALL WALL HUNG CABINETS, FIXTURES, HANDRAILS, ACCESSORIES, SIGNS AND DRYWALL.
  6. INSTALL 2X FIRE BLOCKING IN CONCEALED SPACES EVERY 10' HORIZONTALLY AND VERTICALLY.

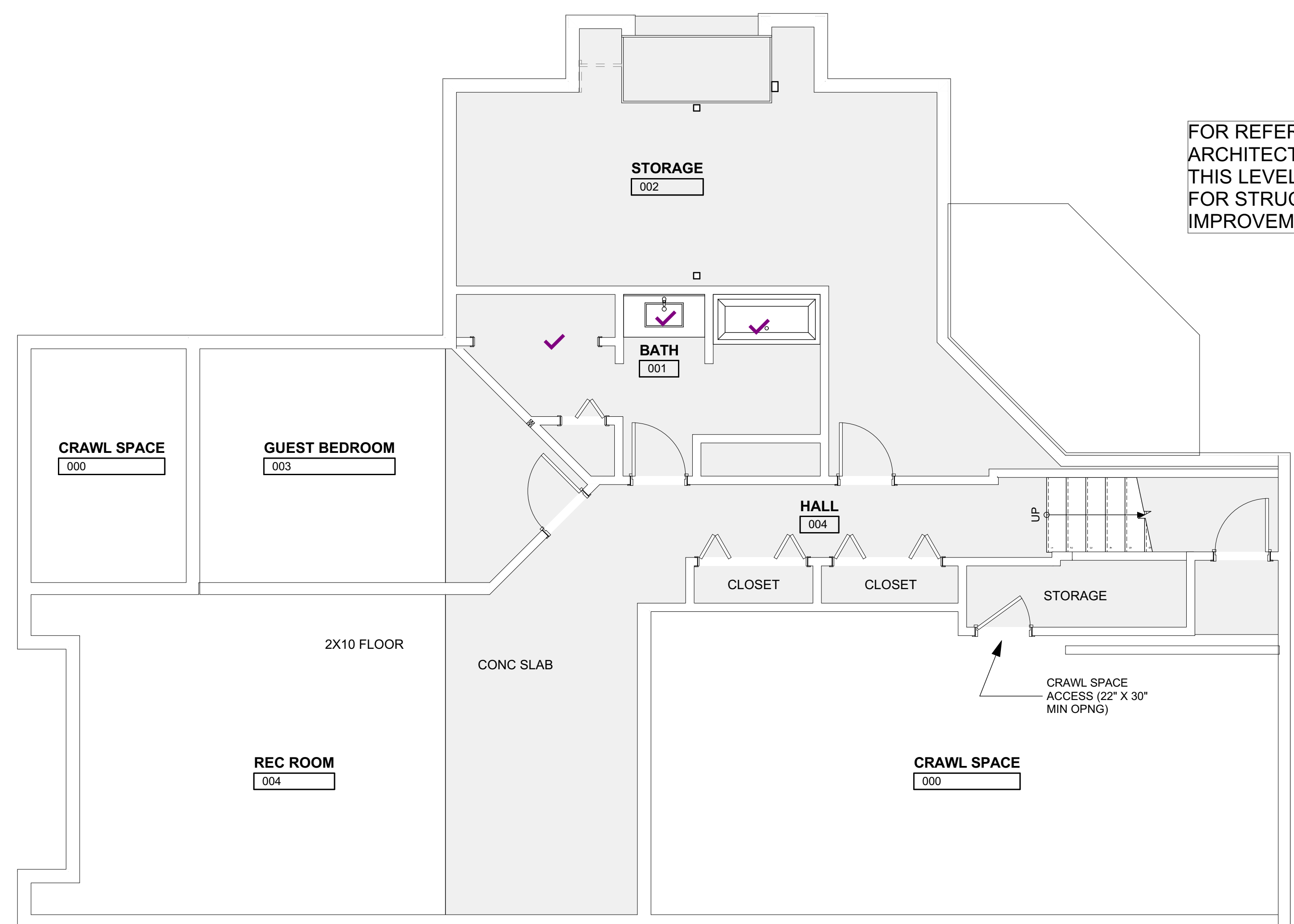
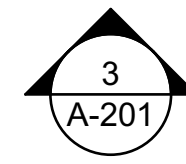
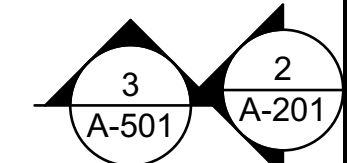
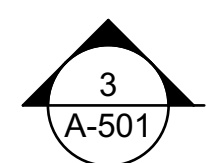
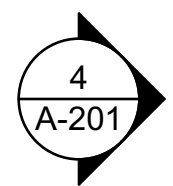
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  2. CEILING INSTALLATION: UNLESS NOTED OTHERWISE IN FIRE-RATED WALL ASSEMBLIES, INSTALL 1/2" DRYWALL CEILING BOARD OVER 1/2" BEAD OF DRYWALL ADHESIVE. FASTEN CEILING PANELS W/ 1 1/2" TYPE W SCREWS NOT TO EXCEED 12" APART.
  3. INSTALL WATER RESISTANT DRYWALL IN ALL WET AREAS. CEILING JOIST FRAMING NOT TO EXCEED 16" O.C. WHEN USING 1/2" PANELS.
  4. ALL DRYWALL CORNERS TO BE SQUARE CORNERS.

**PLAN NOTES**

- WORKMANSHIP:**
1. WORKMANSHIP SHALL CONFORM TO THE BEST AND HIGHEST STANDARDS OF QUALITY IN EACH TRADE. ALL WORK SHALL BE FIRMLY SECURE AND RELATIVE TO ELEVATIONS AND DIMENSIONS IN THE DRAWINGS. TRUE TO PLUMB, LEVEL, SQUARE AND LINE.
  2. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR MATERIALS INSTITUTE STANDARDS.
- DIMENSIONING:**
1. DIMENSIONS SHALL TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. DO NOT SCALE THE DRAWINGS.
  2. DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTER OF ROUGH OPENINGS.
  3. ALL DIMENSIONS ARE GIVEN FROM FACE OF FRAMING UNLESS NOTED OTHERWISE. FOUNDATION PLANS ARE DIMENSIONED FROM FACE OF CONCRETE.
  4. SHOULD DIMENSIONAL DISCREPANCIES OCCUR, THE CONTRACTOR SHALL CONSULT THE DESIGNER BEFORE PROCEEDING WITH WORK.
  5. CONTRACTOR TO PROVIDE DESIGNER MANUFACTURER SHOP DRAWINGS & SUBMITTALS FOR ALL CUSTOM FABRICATED ITEMS PRIOR TO ORDERING OR FABRICATION OF ITEMS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD BEFORE SHOP DRAWINGS ARE MADE AND BEFORE ANY WORK IS CONSTRUCTED OR FABRICATED.
  6. INTERIOR FLOOR AREA IS MEASURED TO THE EXTERIOR FACE OF FRAMING. THE STAIRWAY IS COUNTED AS SQUARE FOOTAGE ON ALL FLOORS.
  7. ACCESSORY DWELLING FLOOR AREAS ARE MEASURED TO THE INTERIOR FACE OF WALL UNLESS NOTED OTHERWISE.
  8. SITE AREAS PERTAINING TO LOT COVERAGE OR DRAINAGE ARE TO BE MEASURED ACCORDING TO THE REQUIREMENTS OF THE JURISDICTION.
  9. VERIFY ROUGH OPENING AND CLEARANCE REQUIREMENTS OF ALL FIXTURES PRIOR TO COMMENCING WITH FRAMING.

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  2. COMBINATION SMOKE ALARM & CARBON MONOXIDE ALARM TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE SLEEPING AREAS ON ALL FLOORS; CENTRALLY LOCATED ON EVERY FLOOR. IN EACH LOCATION WHERE THERE IS A CEILING HT. CHANGE GREATER THAN 24".
  3. ALL EGRESS WINDOW & DOORS TO MEET THE REQUIREMENTS OF SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS. ALL DOOR AND WINDOW GLAZING TO MEET THE SAFETY GLASS / TEMPERING REQUIREMENTS OF SECTION R308. ALL SILL HEIGHTS BELOW 24" TO BE PROTECTED FROM FALL HAZARD.



FOR REFERENCE ONLY. NO ARCHITECTURAL WORK TO THIS LEVEL. SEE SHEET S-101 FOR STRUCTURAL IMPROVEMENTS.

air·mod  
ARCHITECTURE PLLC

brett@air-mod.com  
206-251-8947  
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**CONSULTANTS**

12250 REGISTERED ARCHITECT  
BRETT HOLVERSTOTT  
STATE OF WASHINGTON

**XU REMODEL**  
5850 W MERCER WAY MERCER ISLAND WA 90840

PROJECT NO: 2019-03  
MODEL FILE:  
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SHEET TITLE  
**Basement Plan**

**A-101**  
SHEET 45 OF 55

**1**  
A-101  
**BASEMENT**  
SCALE: 1/4" = 1'-0"

CONSULTANTS

12250 REGISTERED  
ARCHITECT  
BRETT HOLVERSTOTT  
STATE OF WASHINGTON

**XU REMODEL**  
5850 W MERCER WAY MERCER ISLAND WA 90840

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SHEET TITLE

First Floor Plan

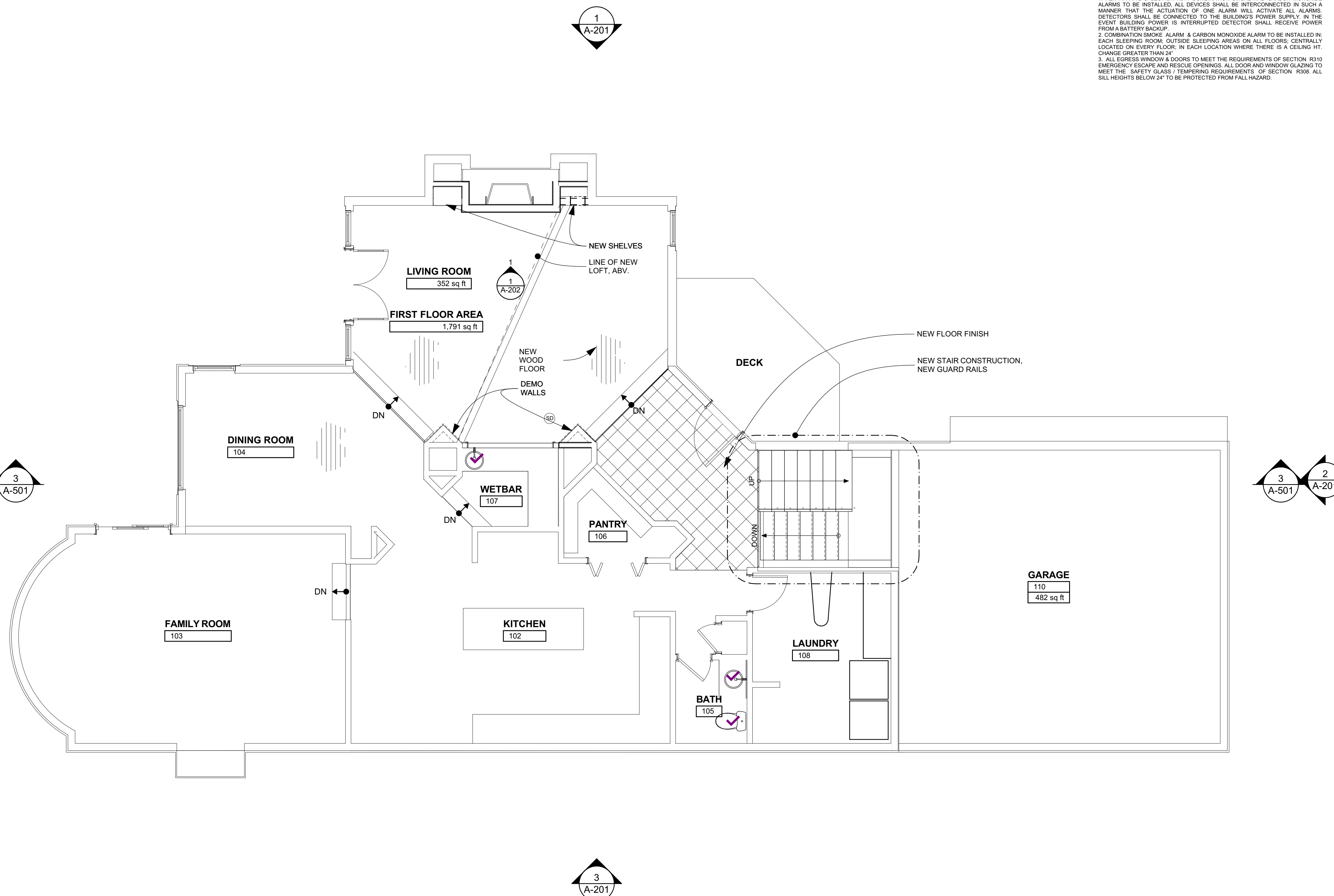
**A-102**

WALL FRAMING & DRYWALL NOTES

- WALL FRAMING:**
1. INSTALL CONTINUOUS SILL GASKETS UNDER ALL PLATES.
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  4. ALL DRYWALL CORNERS TO BE SQUARE CORNERS.

PLAN NOTES

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1  
A-102  
FIRST FLOOR  
SCALE: 1/4" = 1'-0"

CONSULTANTS

12250 REGISTERED ARCHITECT  
BRETT HOLVERSTOTT  
STATE OF WASHINGTON

XU REMODEL

5850 W MERCER WAY MERCER ISLAND WA 90840

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SHEET TITLE

Second Floor Plan

A-103

SHEET 47

OF 55

WALL FRAMING & DRYWALL NOTES

**WALL FRAMING:**  
1. INSTALL CONTINUOUS SILL GASKETS UNDER ALL PLATES.  
2. WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESSURE TREATED.  
3. FLOOR SHEATHING TO BE GLUED AT EA. JOIST WITH 1/2" BEAD OF CONSTRUCTION ADHESIVE.  
4. INSTALL (2) CONTINUOUS 2X STUDS BETWEEN EA. WINDOW UNIT (U.N.O.) DOOR ROUGH OPENINGS TO BE A MIN OF 4 1/2" FROM INSIDE CORNER OF WALL FRAMING.  
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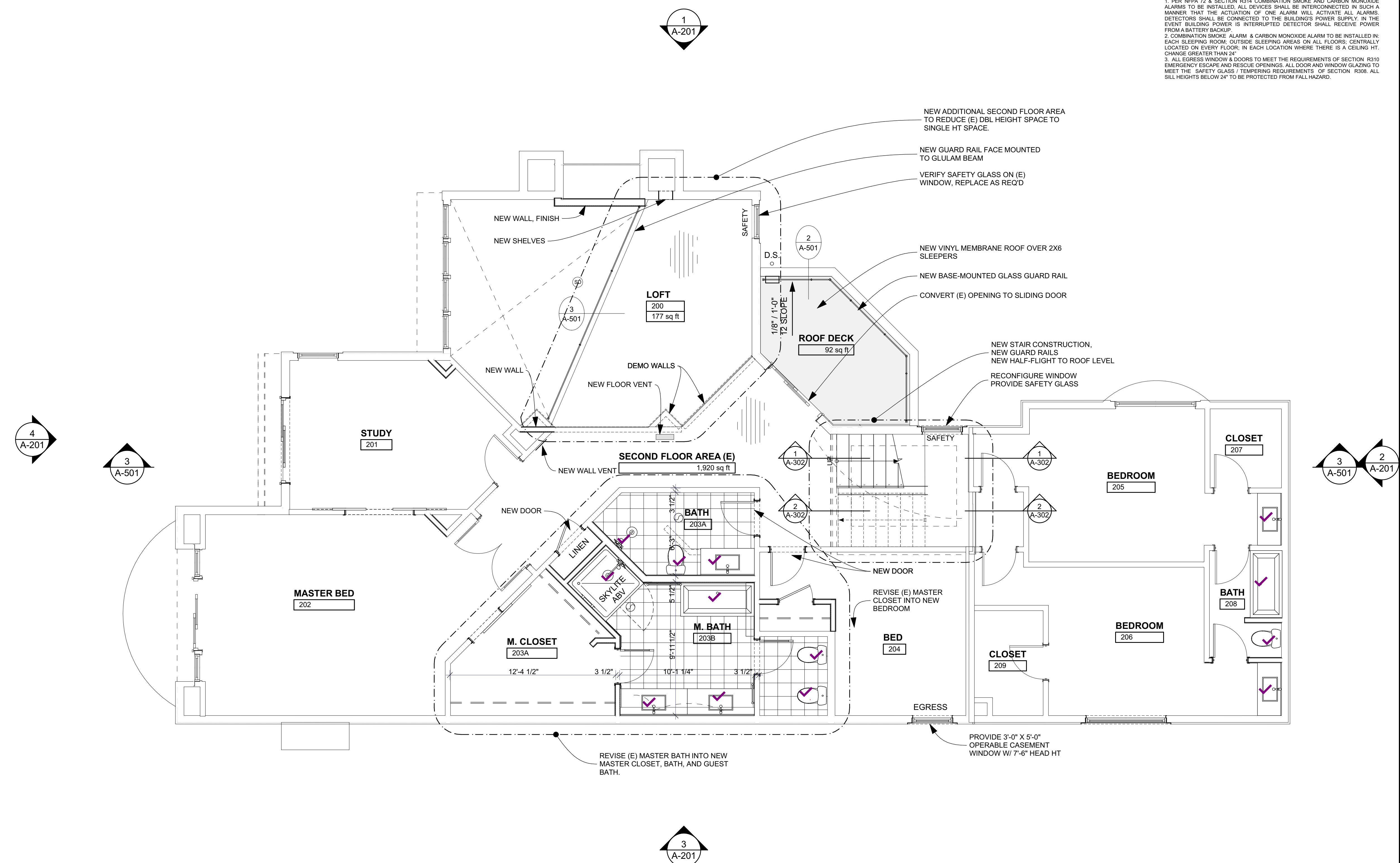
PLAN NOTES

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4  
A-201

3  
A-501

1  
A-201

3  
A-501

1  
A-302

1  
A-302

3  
A-501

2  
A-201

3  
A-201

1  
A-103  
SECOND FLOOR  
SCALE: 1/4" = 1'-0"

CONSULTANTS

12250 REGISTERED ARCHITECT  
BRETT HOLVERSTOTT  
STATE OF WASHINGTON

XU REMODEL

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SHEET TITLE

Roof Plan

A-104

SHEET 48

OF 55

WALL FRAMING & DRYWALL NOTES

**WALL FRAMING:**  
1. INSTALL CONTINUOUS SILL GASKETS UNDER ALL PLATES.  
2. WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESSURE TREATED.  
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3. FLOOR SHEATHING TO BE GLUED AT EA JOIST WITH 1/2" BEAD OF CONSTRUCTION ADHESIVE.  
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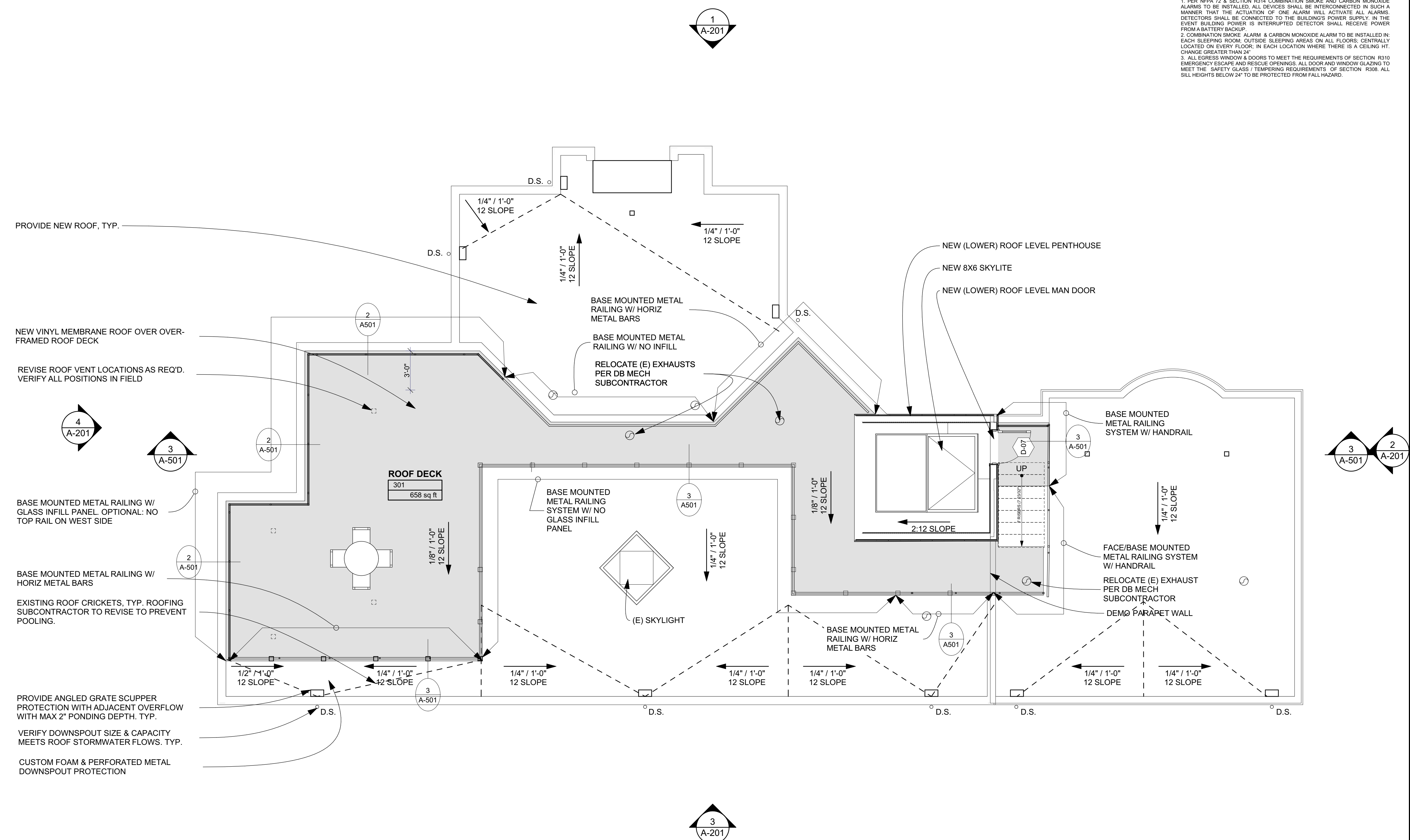
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7. ACCESSORY DWELLING FLOOR AREAS ARE MEASURED TO THE INTERIOR FACE OF WALL UNLESS NOTED OTHERWISE.  
8. SITE AREAS PERTAINING TO LOT COVERAGE OR DRAINAGE ARE TO BE MEASURED ACCORDING TO THE REQUIREMENTS OF THE JURISDICTION.  
9. VERIFY ROUGH OPENING AND CLEARANCE REQUIREMENTS OF ALL FIXTURES PRIOR TO COMMENCING WITH FRAMING.

**PLAN REVIEW/INSPECTOR CHANGES:**  
1. THE DESIGNER SHALL NOT BE HELD RESPONSIBLE FOR CHANGES REQUESTED BY PLAN REVIEWERS AND/OR FIELD INSPECTORS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS WORK.  
2. SHOULD AN AUTHORITY FIND A CONFLICT WITH CODE OR REGULATIONS, THE CONTRACTOR SHALL CONSULT THE DESIGNER BEFORE PROCEEDING WITH WORK.

**LIFE & SAFETY:**  
1. PER NFPA 72 & SECTION R314 COMBINATION SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED. ALL DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS. DETECTORS SHALL BE CONNECTED TO THE BUILDING'S POWER SUPPLY. IN THE EVENT BUILDING POWER IS INTERRUPTED DETECTOR SHALL RECEIVE POWER FROM A BATTERY BACKUP.  
2. COMBINATION SMOKE ALARM & CARBON MONOXIDE ALARM TO BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE SLEEPING AREAS ON ALL FLOORS, CENTRALLY LOCATED ON EVERY FLOOR. IN EACH LOCATION WHERE THERE IS A CEILING HT. CHANGE GREATER THAN 24".  
3. ALL EGRESS WINDOW & DOORS TO MEET THE REQUIREMENTS OF SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS. ALL DOOR AND WINDOW GLAZING TO MEET THE SAFETY GLASS / TEMPERING REQUIREMENTS OF SECTION R308. ALL SILL HEIGHTS BELOW 24" TO BE PROTECTED FROM FALL HAZARD.



PROVIDE NEW ROOF, TYP.

NEW VINYL MEMBRANE ROOF OVER OVER-FRAMED ROOF DECK  
REVISE ROOF VENT LOCATIONS AS REQ'D. VERIFY ALL POSITIONS IN FIELD

BASE MOUNTED METAL RAILING W/ GLASS INFILL PANEL. OPTIONAL: NO TOP RAIL ON WEST SIDE

BASE MOUNTED METAL RAILING W/ HORIZ METAL BARS  
EXISTING ROOF CRICKETS, TYP. ROOFING SUBCONTRACTOR TO REVISE TO PREVENT POOLING.

PROVIDE ANGLED GRATE SCUPPER PROTECTION WITH ADJACENT OVERFLOW WITH MAX 2" PONDING DEPTH, TYP.

VERIFY DOWNSPOUT SIZE & CAPACITY MEETS ROOF STORMWATER FLOWS, TYP.

CUSTOM FOAM & PERFORATED METAL DOWNSPOUT PROTECTION

BASE MOUNTED METAL RAILING W/ HORIZ METAL BARS  
BASE MOUNTED METAL RAILING W/ NO INFILL  
RELOCATE (E) EXHAUSTS PER DB MECH SUBCONTRACTOR

NEW (LOWER) ROOF LEVEL PENTHOUSE  
NEW 8X6 SKYLITE  
NEW (LOWER) ROOF LEVEL MAN DOOR

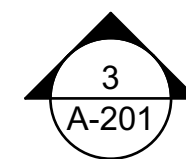
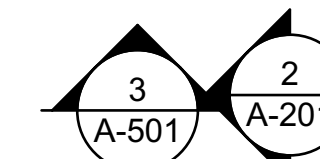
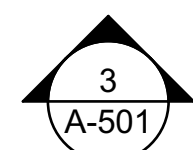
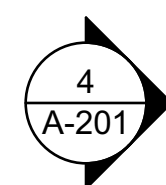
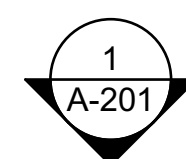
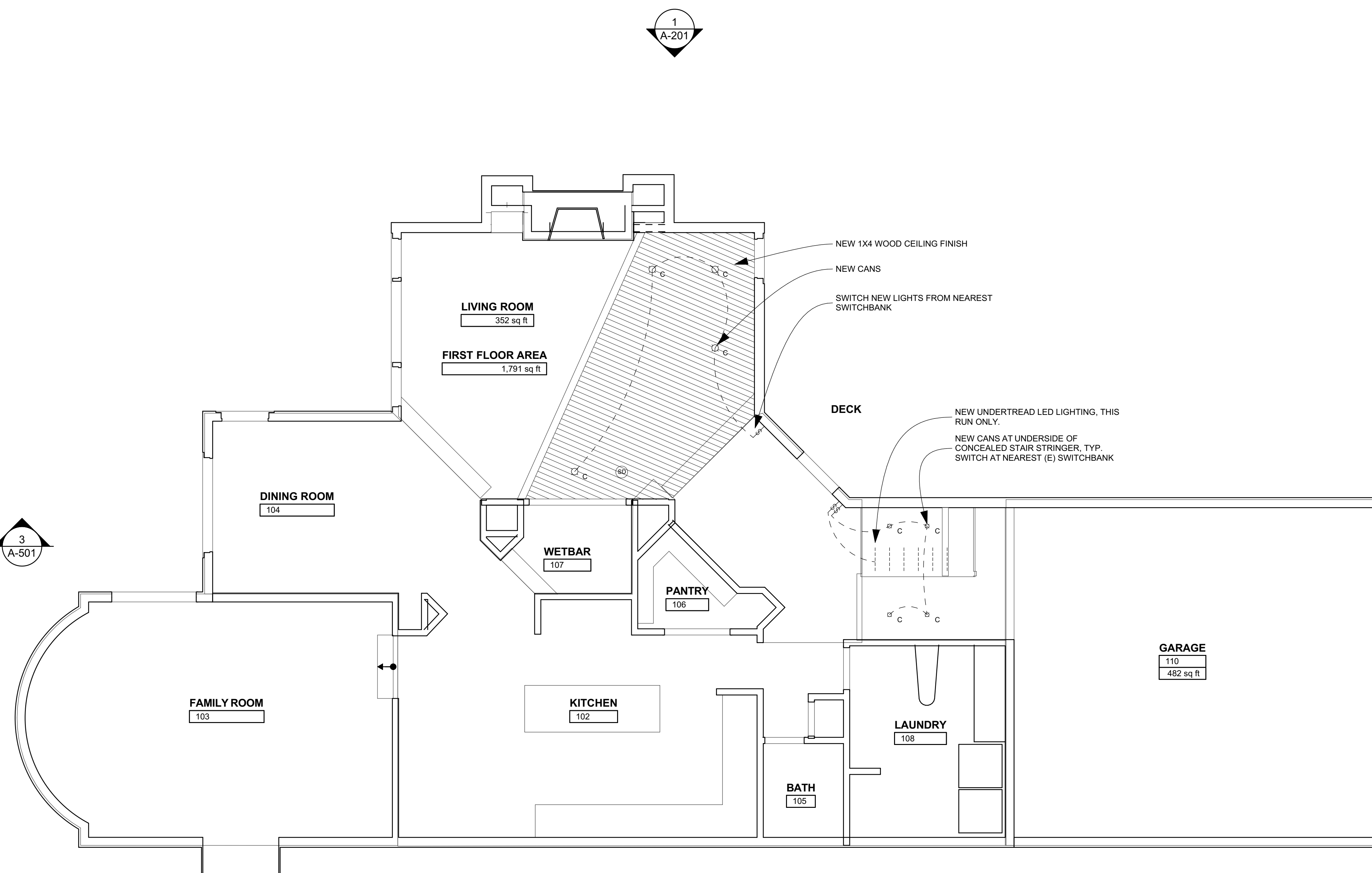
BASE MOUNTED METAL RAILING SYSTEM W/ HANDRAIL

FACE/BASE MOUNTED METAL RAILING SYSTEM W/ HANDRAIL  
RELOCATE (E) EXHAUST PER DB MECH SUBCONTRACTOR  
DEMO PARAPET WALL

BASE MOUNTED METAL RAILING SYSTEM W/ NO GLASS INFILL PANEL

(E) SKYLIGHT

BASE MOUNTED METAL RAILING W/ HORIZ METAL BARS

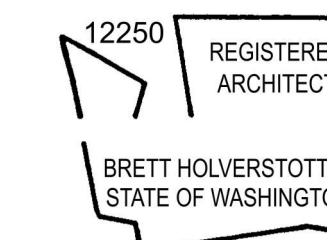


1

**First Floor RCP & Electrical**

SCALE: 1/4" = 1'-0"

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**XU REMODEL**  
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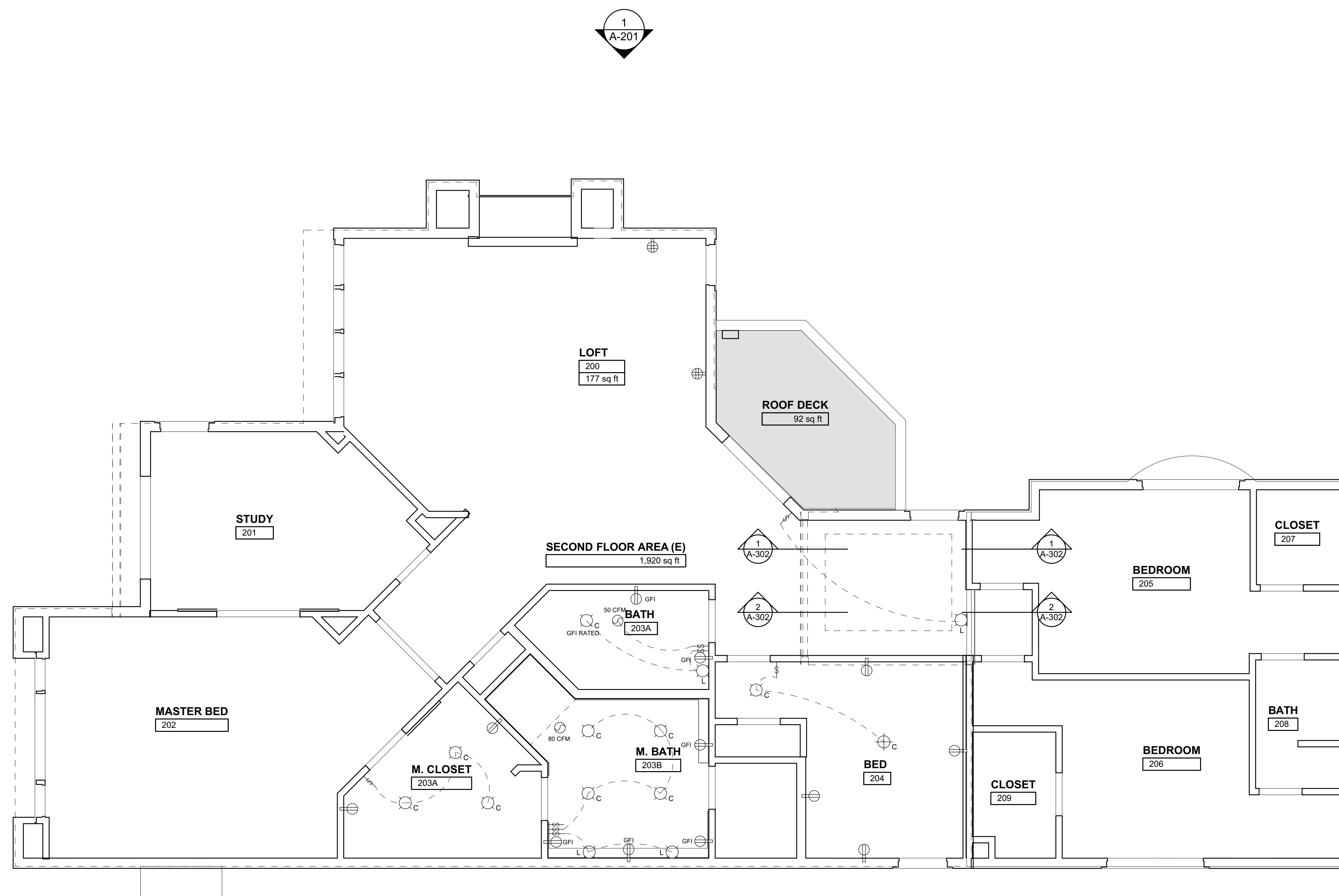
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SHEET TITLE

Second Floor RCP &  
Electrical

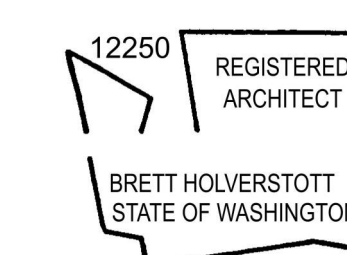
**A-114**

SHEET 50 OF 55



**1** Second Floor RCP & Electrical  
SCALE: 1/4" = 1'-0"  
0 2' 4' 8'

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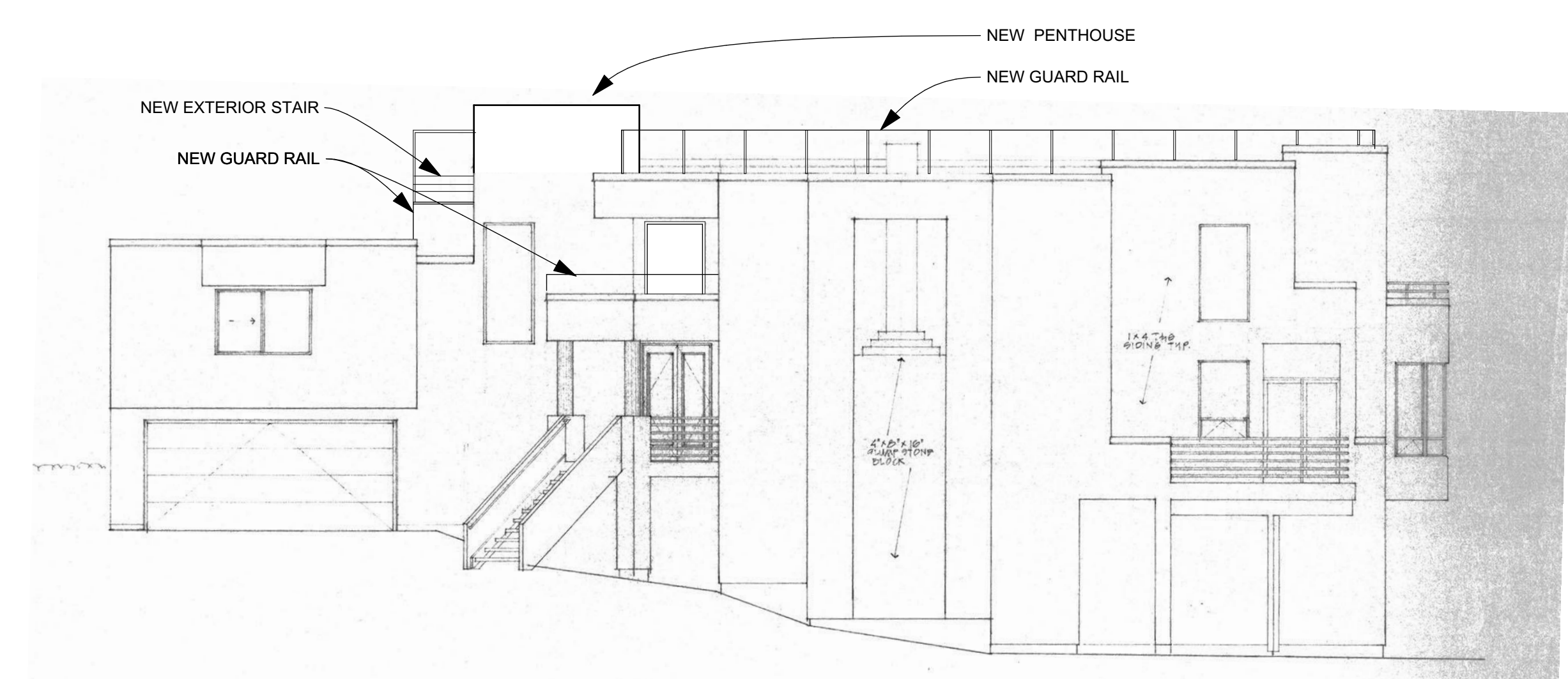
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Exterior Elevations

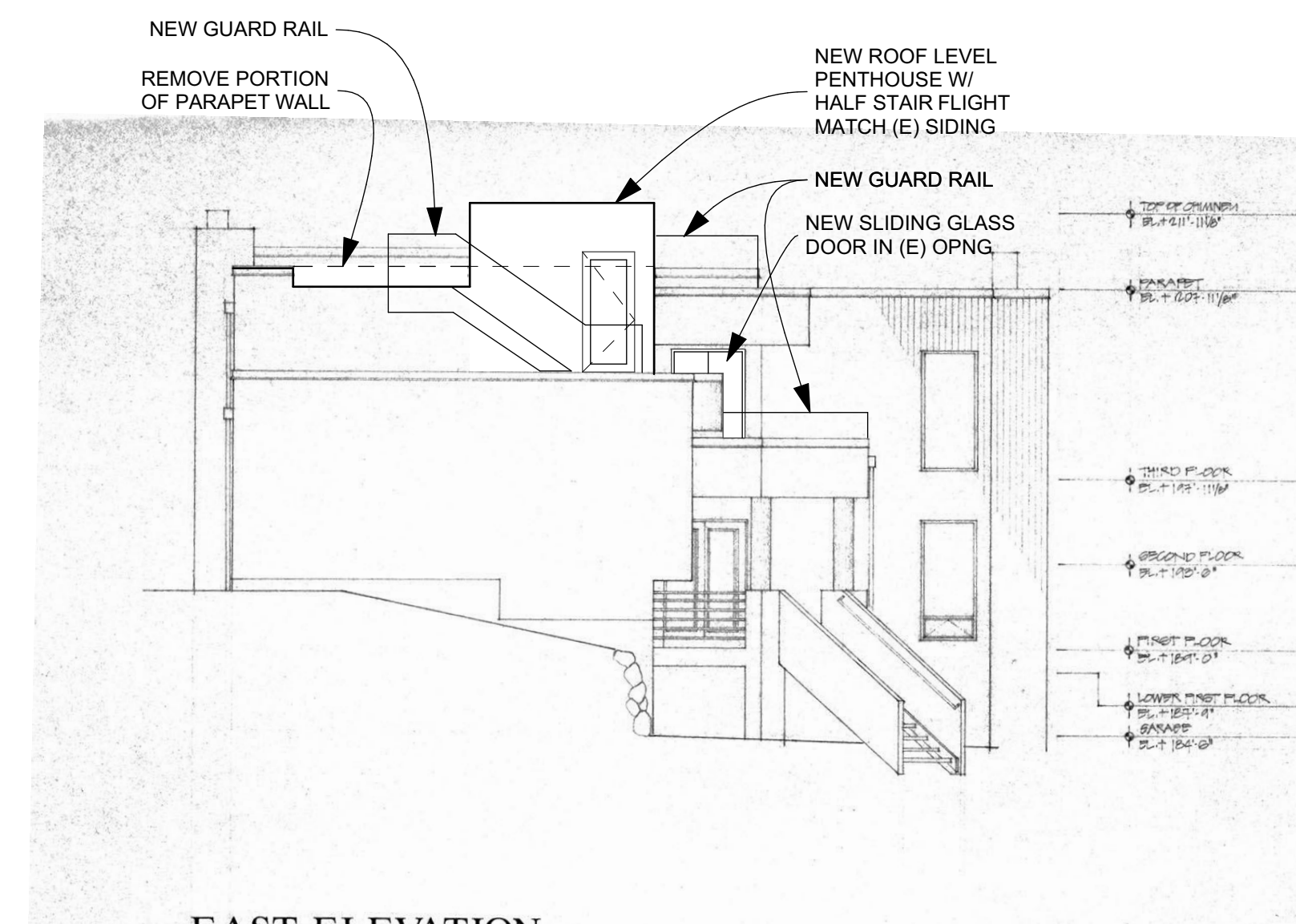
**A-201**

SHEET 51

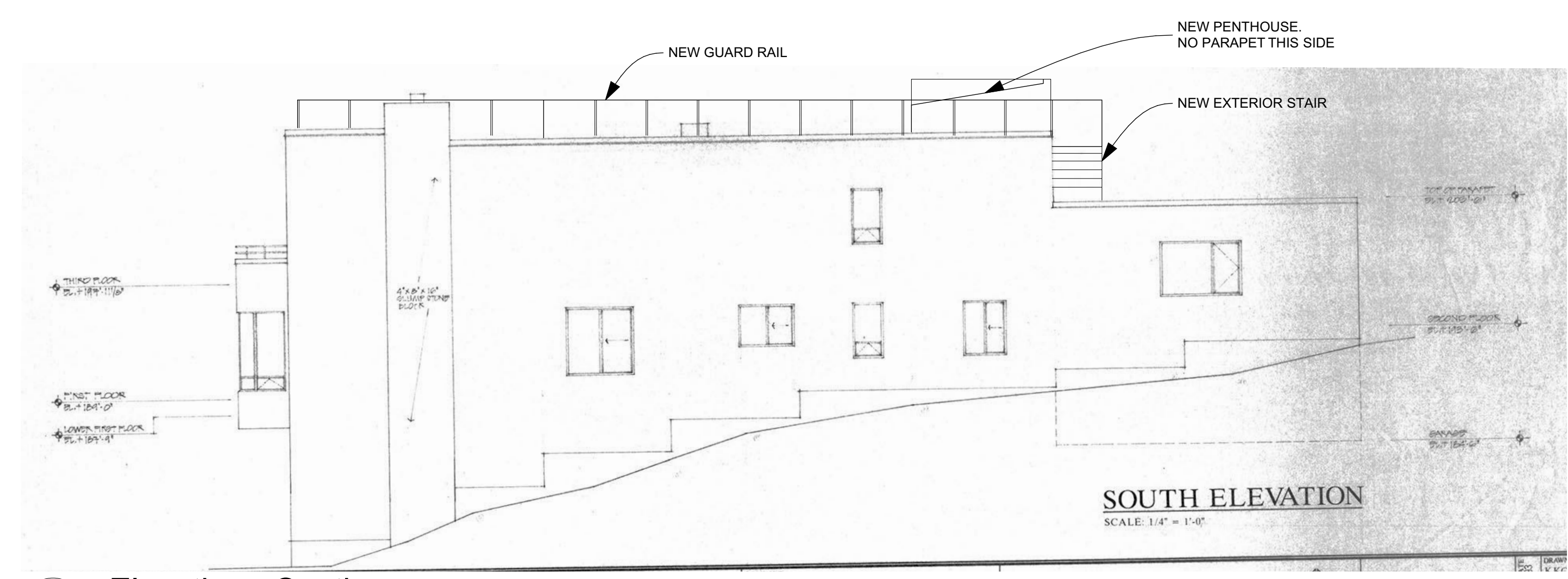
OF 55



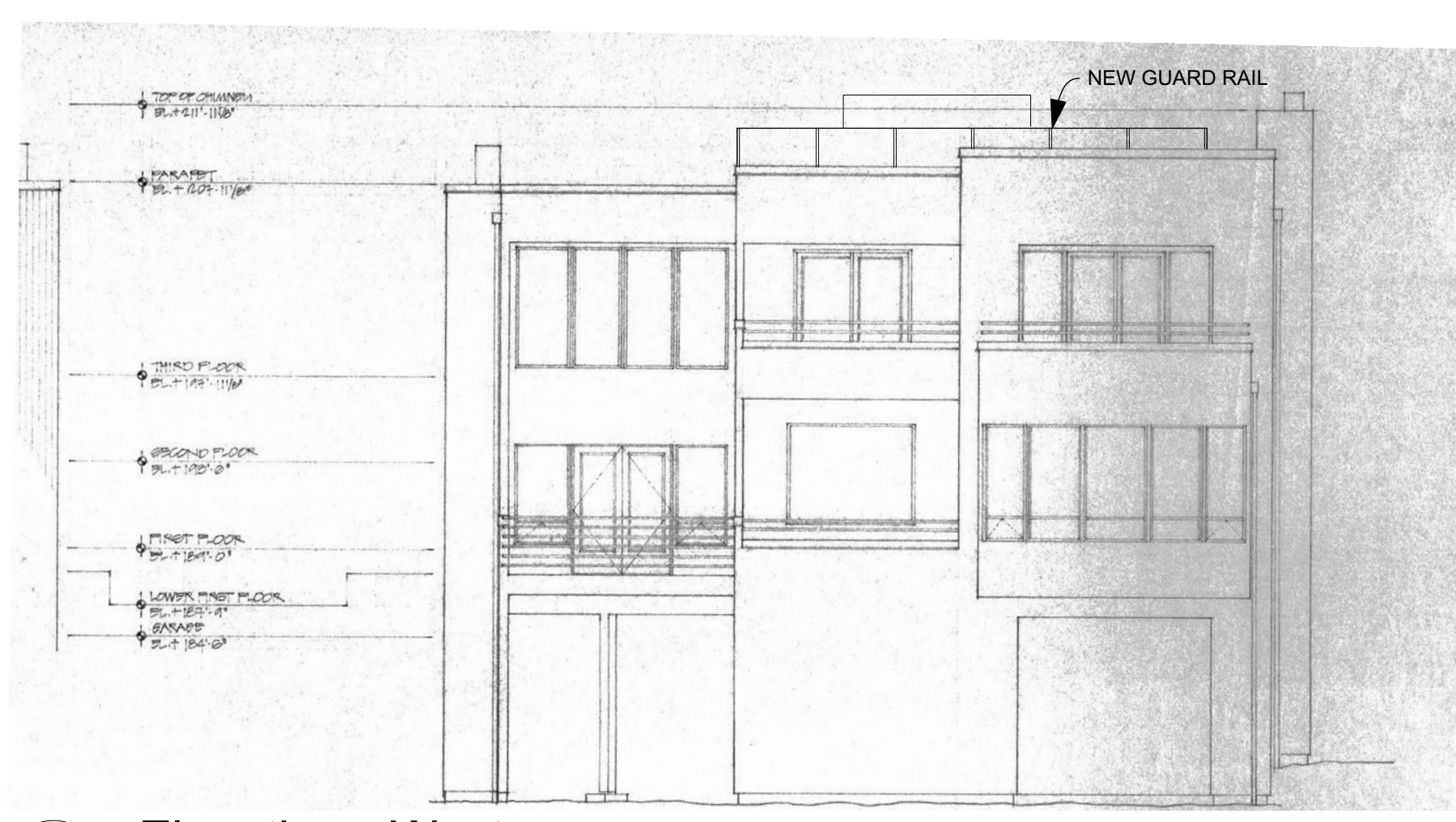
**1** Elevation - North  
SCALE: 1/8" = 1'-0"



**2** Elevation - East  
SCALE: 1/8" = 1'-0"



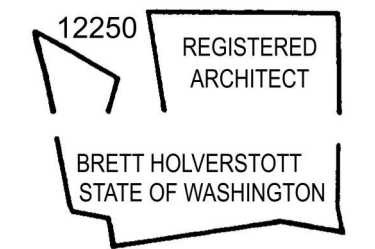
**3** Elevation - South  
SCALE: 1/8" = 1'-0"



**4** Elevation - West  
SCALE: 1/8" = 1'-0"

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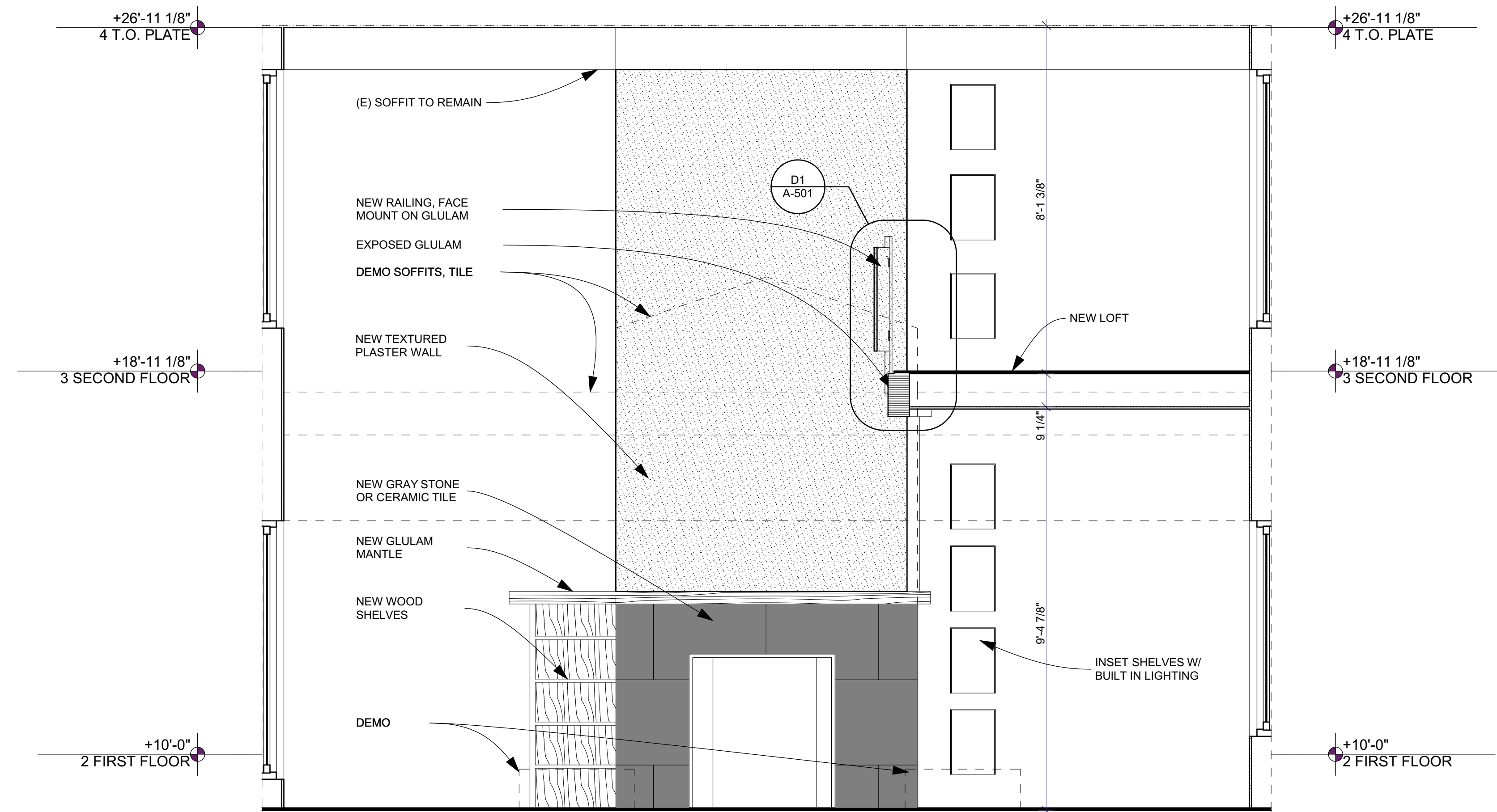
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Interior Elevations

**A-202**

SHEET 52

OF 55

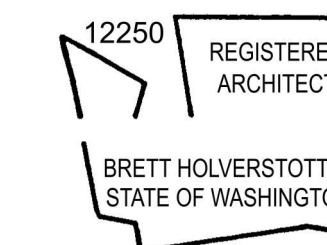


**1**  
**A-202** LIVING ROOM NORTH ELEVATION  
SCALE: 1/2" = 1'-0"



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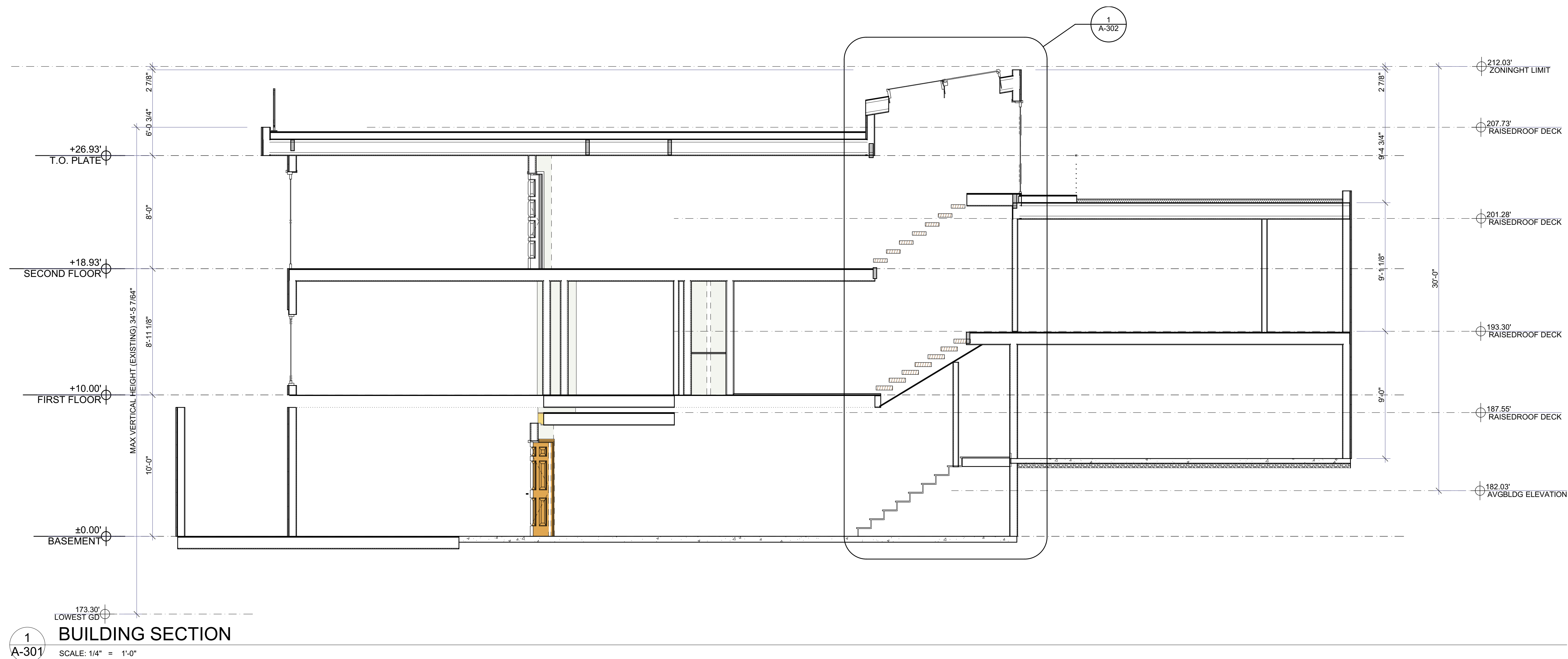
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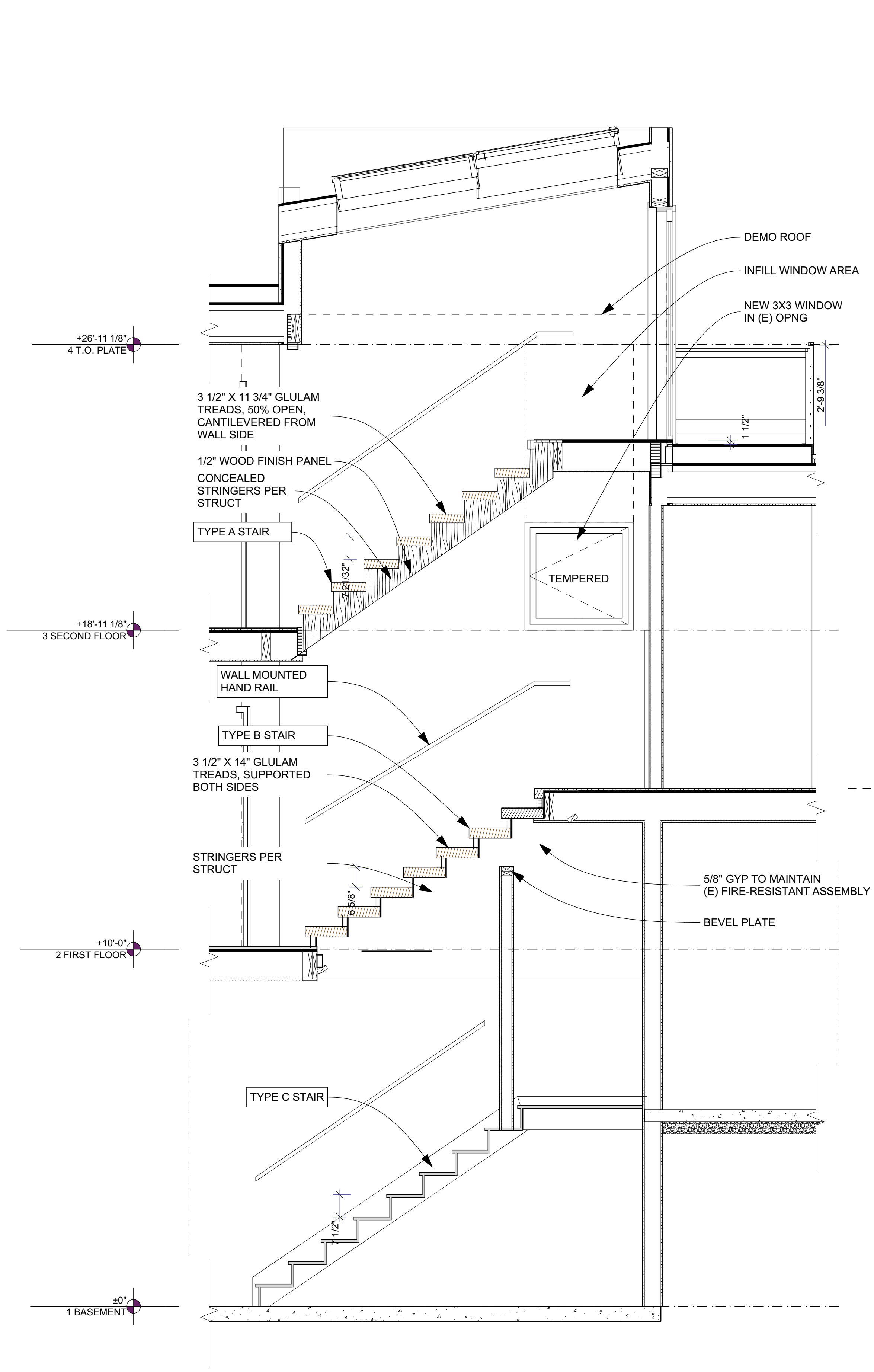
Building Section

**A-301**

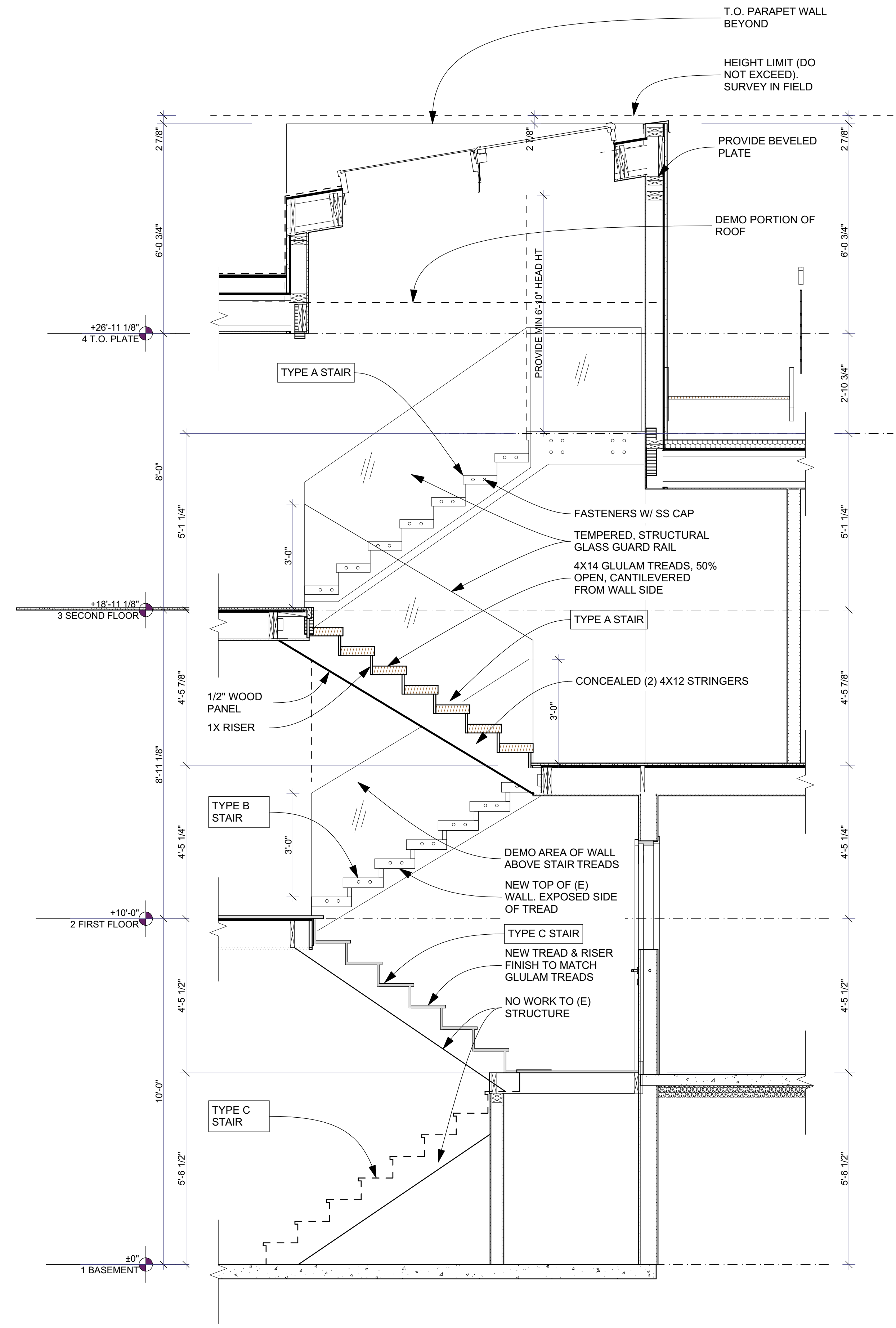


1  
A-301  
**BUILDING SECTION**

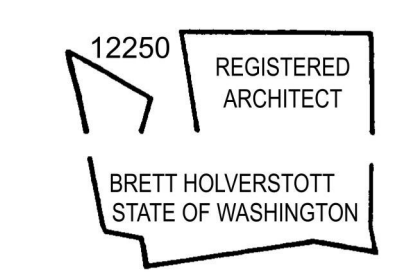
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1 STAIR SECTION NORTH  
A-302 SCALE: 1/2" = 1'-0"



2 STAIR SECTION SOUTH  
A-302 SCALE: 1/2" = 1'-0"



**XU REMODEL**  
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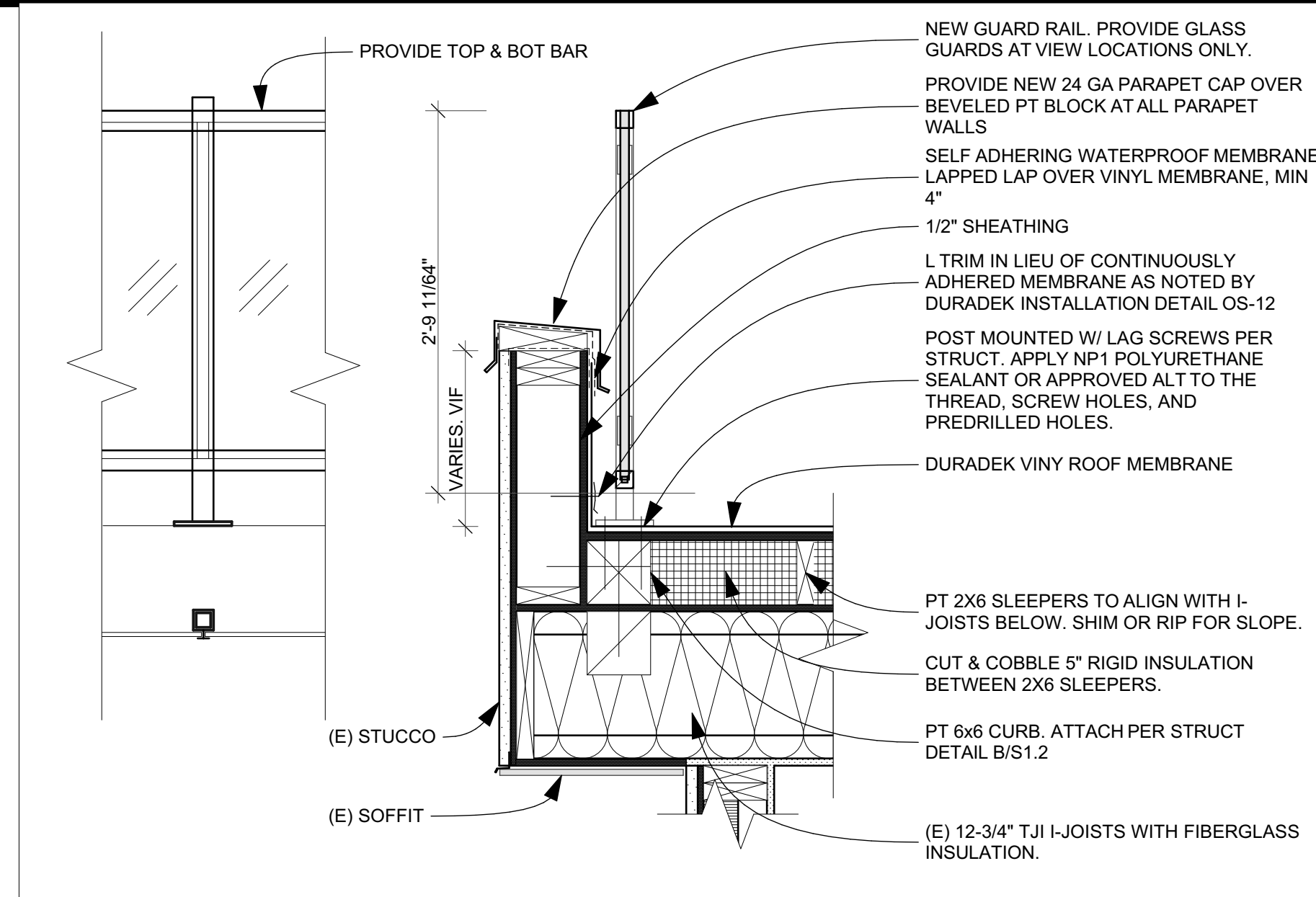
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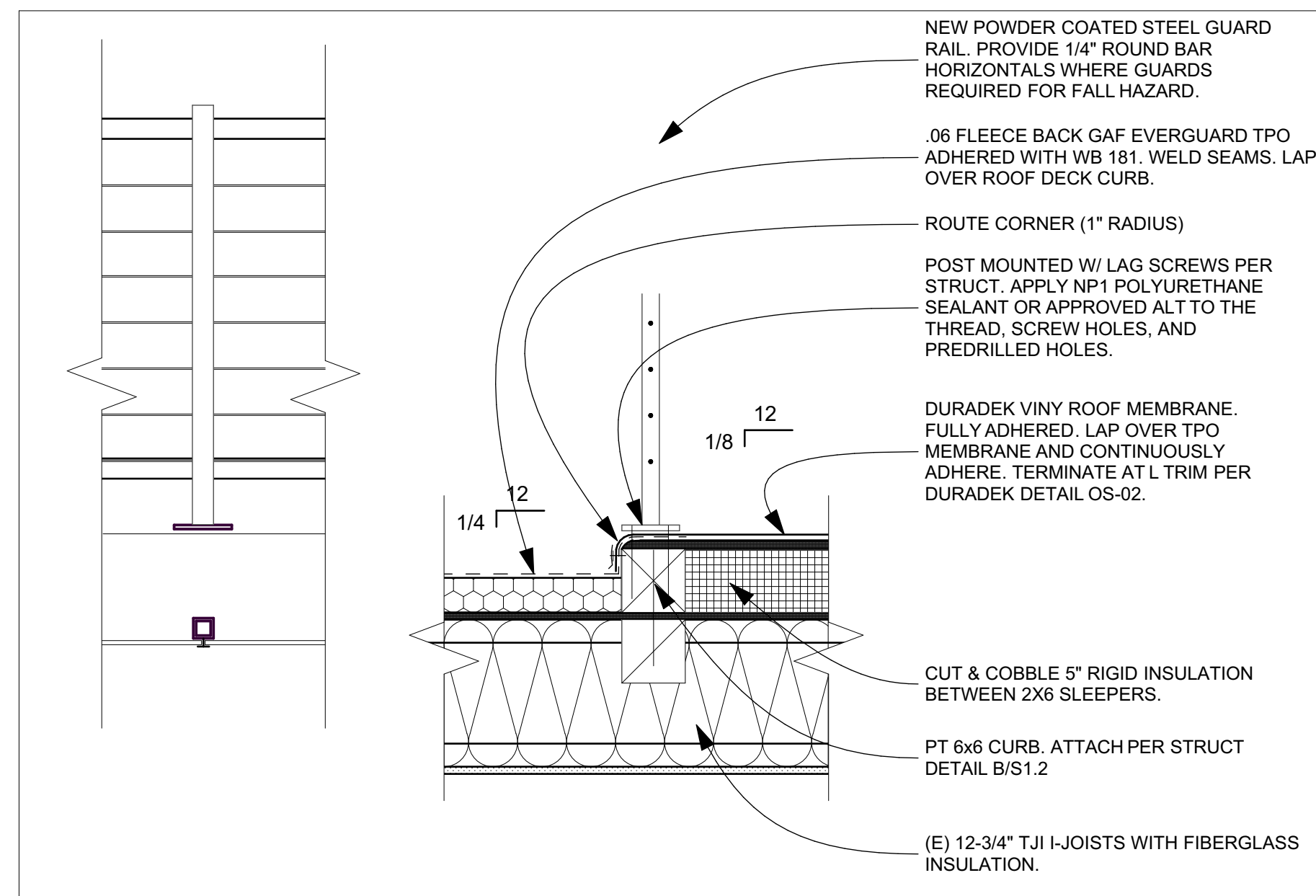
Stair Sections

**A-302**

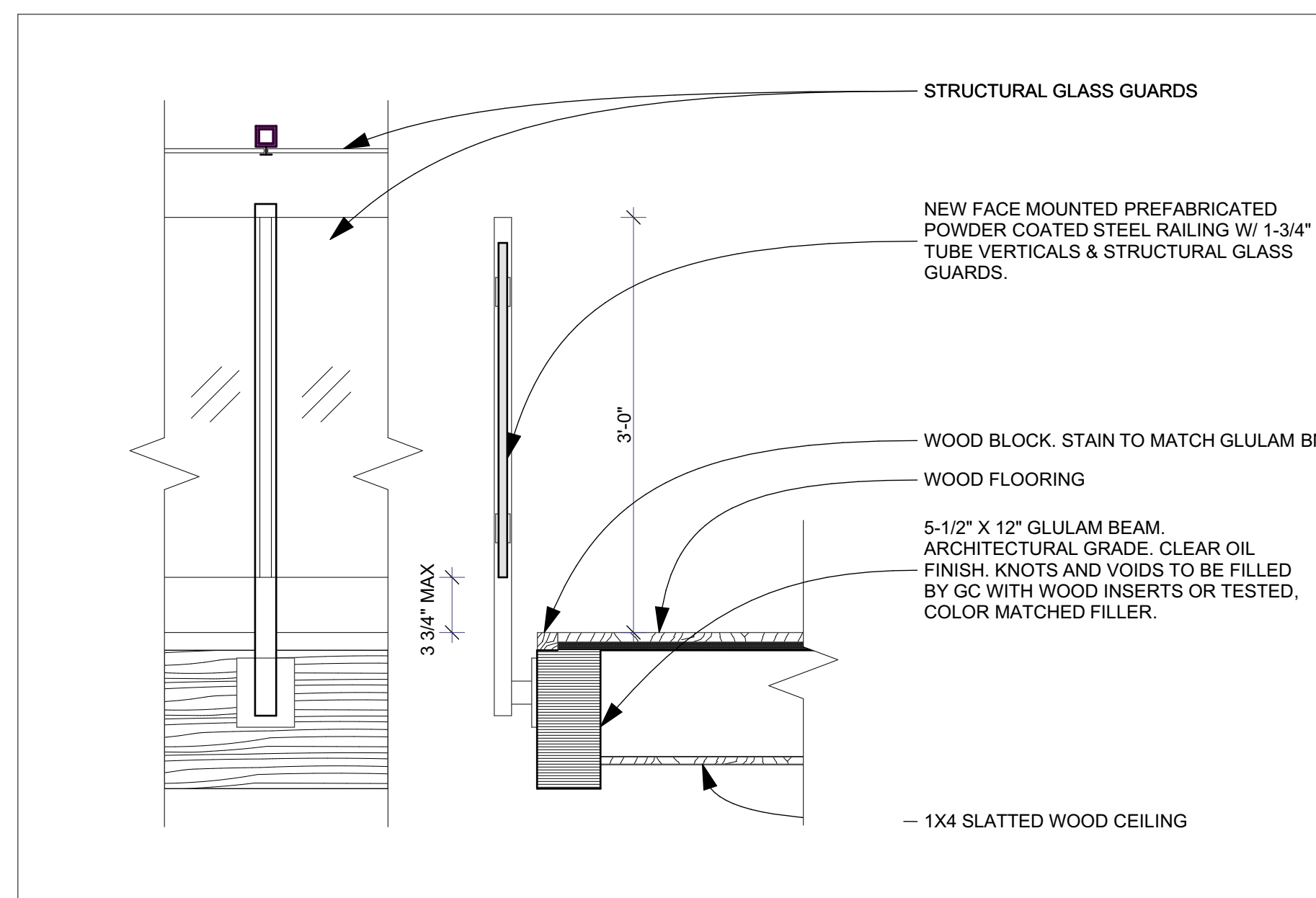
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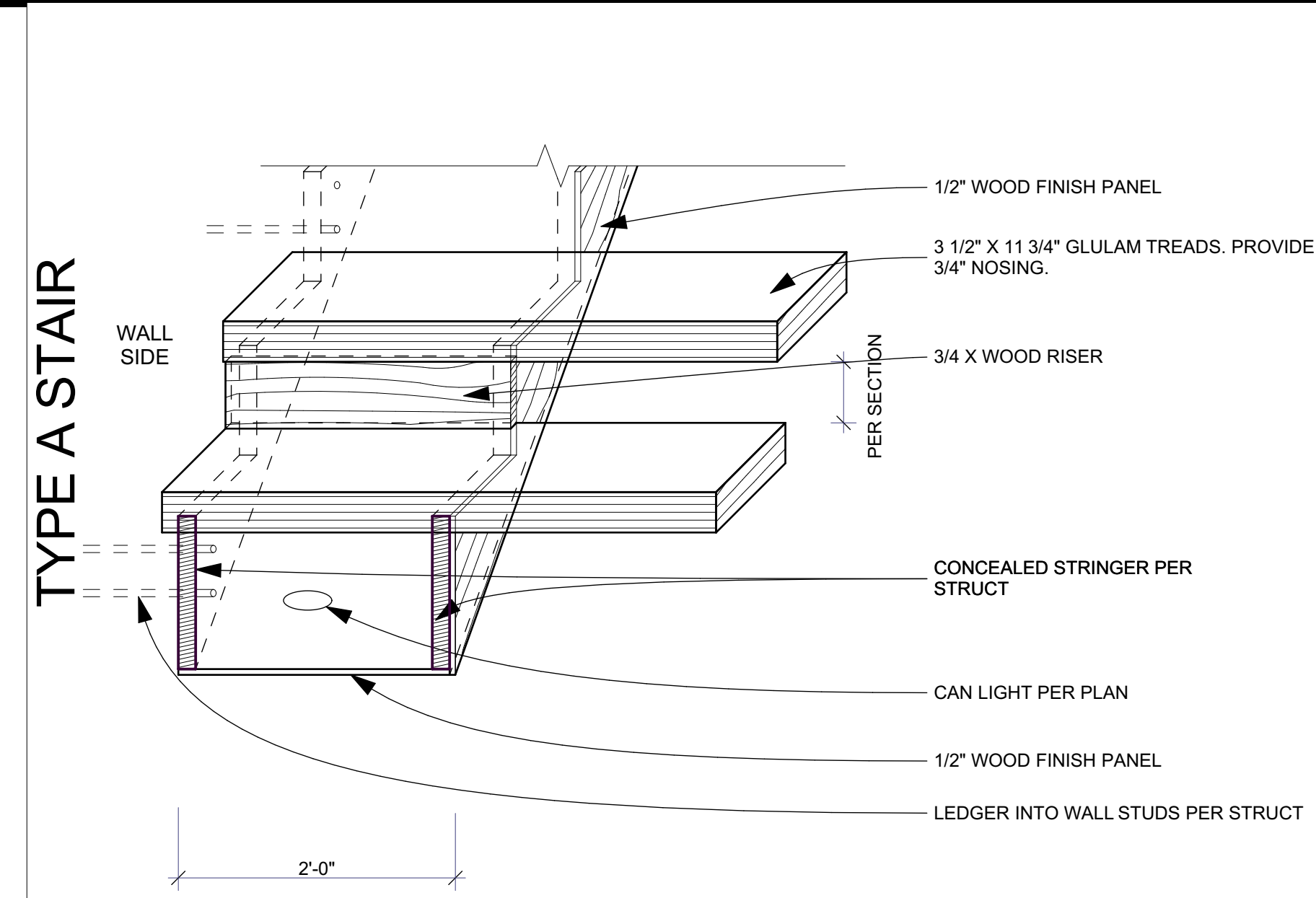
**2 CURB & RAILING @ PARAPET WALL**  
 SCALE: 1" = 1'-0"



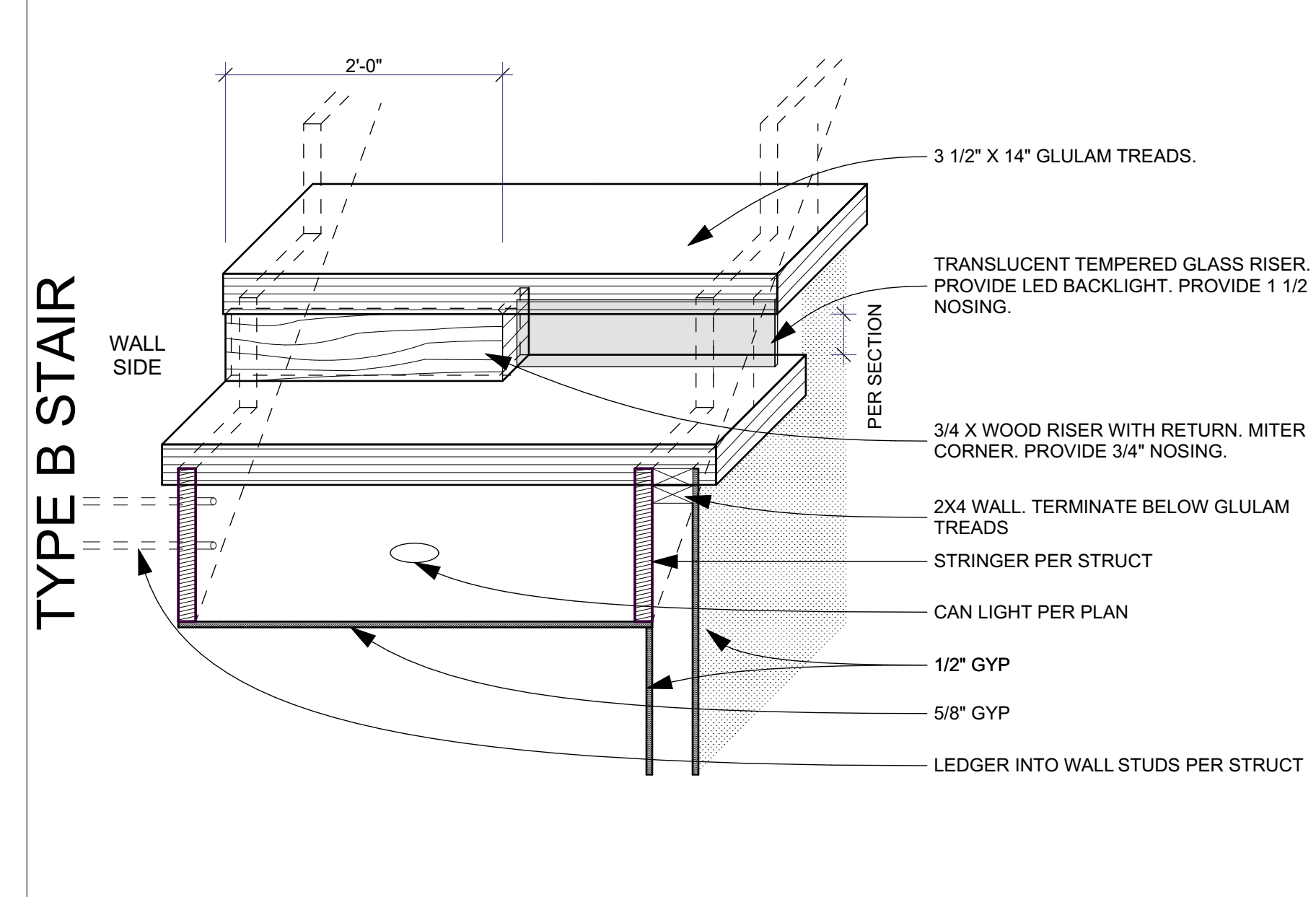
**3 CURB & RAILING @ DECK**  
 SCALE: 1" = 1'-0"



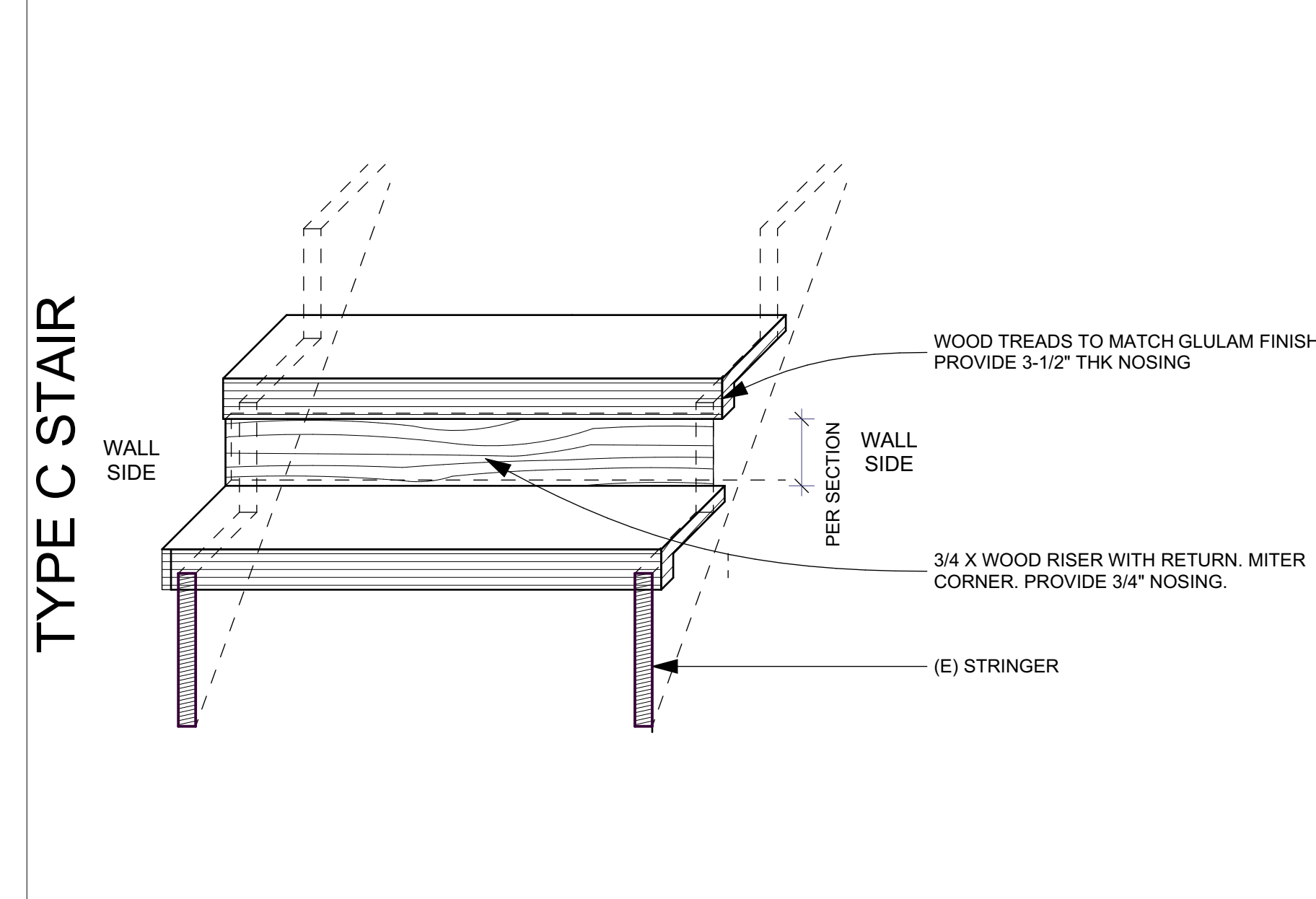
**4 FACE MOUNT RAILING @ LOFT**  
 SCALE: 1" = 1'-0"



**TYPE A STAIR**



**TYPE B STAIR**



**1 STAIR TYPES**  
 SCALE: 1" = 1'-0"